

**NOTICE OF INTENT**  
**Prepared for Joanna Hills LLC**  
**Joanna Hills Estates**  
Joanna Road  
Avon, Massachusetts 02322

October 27, 2020

**MBL Land Development & Permitting Corp.**  
770 Broadway Suite 6  
Raynham, MA 02767  
Phone 508.297.2746  
Fax 508.297.2756  
Email: [info@MBLLandDevelopment.com](mailto:info@MBLLandDevelopment.com)  
Website: [www.MBLLandDevelopment.com](http://www.MBLLandDevelopment.com)

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## APPENDICES

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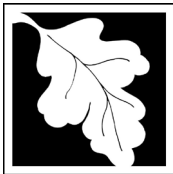
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**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Avon

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>0 Joanna Road</u>	<u>Avon</u>	<u>02322</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>42°08'09"N</u>	<u>71°03'18"W</u>	
d. Latitude	e. Longitude	
<u>Map C7, Block 3</u>	<u>Lot 15</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Muhammad</u>	<u>Itani</u>	
a. First Name	b. Last Name	
<u>Joanna Hills LLC</u>		
c. Organization		
<u>32 Norfolk Avenue</u>		
d. Street Address		
<u>South Easton</u>	<u>MA</u>	<u>02375</u>
e. City/Town	f. State	g. Zip Code
<u>508-230-2300</u>	<u>mitani@stonebridgehomesinc.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

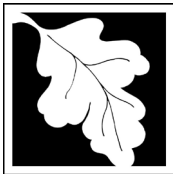
<u>Wisam</u>	<u>Omran</u>	
a. First Name	b. Last Name	
<u>SNA Realty Trust</u>		
c. Organization		
<u>24 Forest Edge Road</u>		
d. Street Address		
<u>South Easton</u>	<u>MA</u>	<u>02375</u>
e. City/Town	f. State	g. Zip Code
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Brian</u>	<u>Dunn</u>	
a. First Name	b. Last Name	
<u>MBL Land Development &amp; Permitting Corp.</u>		
c. Company		
<u>770 Broadway, Suite No. 6</u>		
d. Street Address		
<u>Raynham</u>	<u>MA</u>	<u>02767</u>
e. City/Town	f. State	g. Zip Code
<u>508-297-2746</u>	<u>508-297-2756</u>	<u>brian@mbllanddevelopment.com</u>
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$13,350</u>	<u>\$6,662.50</u>	<u>\$6,687.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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Bureau of Resource Protection - Wetlands

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**A. General Information (continued)**

6. General Project Description:

See attached report

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk

a. County

34405

c. Book

b. Certificate # (if registered land)

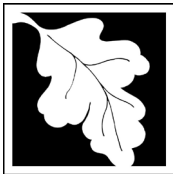
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d. Page Number

**B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

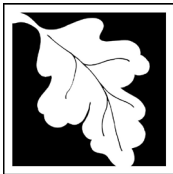
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
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5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	_____	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

\_\_\_\_\_

a. square feet of BVW

\_\_\_\_\_

b. square feet of Salt Marsh

5.  Project Involves Stream Crossings

\_\_\_\_\_

a. number of new stream crossings

\_\_\_\_\_

b. number of replacement stream crossings



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### C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

#### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

August, 2017

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2.  Assessor's Map or right-of-way plan of site

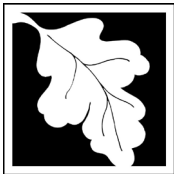
2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a)  Project description (including description of impacts outside of wetland resource area & buffer zone)

(b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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## C. Other Applicable Standards and Requirements (cont'd)

(c)  MESA filing fee (fee information available at [http://www.mass.gov/dfwele/dfw/nhosp/regulatory\\_review/mesa/mesa\\_fee\\_schedule.htm](http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm)). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

(d)  Vegetation cover type map of site

(e)  Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1.  Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, [http://www.mass.gov/dfwele/dfw/nhosp/regulatory\\_review/mesa/mesa\\_exemptions.htm](http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm); the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed. Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [DMF.EnvReview-South@state.ma.us](mailto:DMF.EnvReview-South@state.ma.us)

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [DMF.EnvReview-North@state.ma.us](mailto:DMF.EnvReview-North@state.ma.us)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.





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**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:  
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)  
2.  A portion of the site constitutes redevelopment  
3.  Proprietary BMPs are included in the Stormwater Management System.  
b.  No. Check why the project is exempt:  
1.  Single-family house  
2.  Emergency road repair  
3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

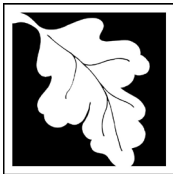
- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



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## D. Additional Information (cont'd)

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

**Site Plans**

a. Plan Title

MBL Land Development & Permitting Corp.

Tracy Duarte, P.E.

b. Prepared By

c. Signed and Stamped by

10/27/2020

1"=40'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

## E. Fees

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

1023

2. Municipal Check Number

10/14/2020

3. Check date

1022

4. State Check Number

10/14/2020

5. Check date

6. Payor name on check: First Name

Joanna Hills LLC

7. Payor name on check: Last Name



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**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant <i>[Signature]</i> <i>Manager</i>	2. Date <i>10/14/2020</i>
3. Signature of Property Owner (if different) <i>[Signature]</i>	4. Date <i>10/14/2020</i>
5. Signature of Representative (if any) <i>[Signature]</i> <i>MBL Land Develop</i> <i>President</i> <i>+ Permitting Corp</i>	6. Date <i>10/14/2020</i>

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

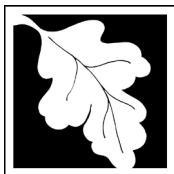
**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

<u>0 Joanna Road</u>	<u>Avon</u>
a. Street Address	b. City/Town
<u>1022, 1023</u>	<u>\$6,662.50, \$6,687.50</u>
c. Check number	d. Fee amount

2. Applicant Mailing Address:

<u>Muhammad</u>	<u>Itani</u>	
a. First Name	b. Last Name	
<u>Joanna Hills LLC</u>		
c. Organization		
<u>32 Norfolk Avenue</u>		
d. Mailing Address		
<u>South Easton</u>	<u>MA</u>	<u>02375</u>
e. City/Town	f. State	g. Zip Code
<u>508-230-2300</u>	<u>mitani@stonebridgehomesinc.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

<u>Wisam</u>	<u>Omran</u>	
a. First Name	b. Last Name	
<u>SNA Realty Trust</u>		
c. Organization		
<u>24 Forest Edge Road</u>		
d. Mailing Address		
<u>South Easton</u>	<u>MA</u>	<u>02375</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email Address

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



## **1. INTRODUCTION**

MBL Land Development and Permitting Corporation (MBL) has prepared this Notice of Intent submission for the proposed development of the project site located at Joanna Road, Avon, Massachusetts. This Notice of Intent is being filed pursuant to the Massachusetts Wetlands Protection Act MGL C131 §40. The project consists of a Chapter 40B development containing a total of 76 proposed units with associated site access, parking, grading, drainage and utilities including on-site subsurface disposal systems. These units are comprised of 9 single family dwellings, 11 duplexes, one 7-unit condominium building, one 10-unit condominium building and two 14-unit condominium buildings.

## **2. EXISTING CONDITIONS**

### **2.1 SITE DESCRIPTION**

The project is located at the end of Joanna Road in Avon, Massachusetts. The site is referenced as Lot 15 on Assessors Map C-7 Block 3 containing a total of 29.37 acres. The existing site consists of a vacant wooded lot consisting of a total upland area of 19.86 acres with 9.51 acres of wetlands.

A portion of the northernmost part of the site lies within a FEMA Flood Zone A, areas of 1% chance flooding with Base Flood Elevations not determined as shown on FIRM Map No. 25021C0218E, having an effective date of July 17, 2012. This portion of the site was removed from the Flood Zone after filing for a Letter of Map Amendment Determination with FEMA. The 1% annual chance flood elevation was determined by FEMA to be elevation 213.0 NAVD 88. A copy of the FEMA Letter of Map Amendment Determination is located in Appendix D of this report.

The site is not located within an Estimated Habitat of Rare Wildlife or Priority Habitat of Rare Species or near a Certified Vernal Pool according to the Massachusetts Natural Heritage Atlas, 14<sup>th</sup> Edition effective August 2017. The site is also not located within an ACEC, Outstanding Resource Water or any other Critical Area. Please refer to Figures 1-6.

### **2.2 BORDERING VEGETATED WETLANDS**

The boundary of the Bordering Vegetated Wetlands (BVW), Isolated Vegetated Wetland (IVW) and Isolated Land Subject to Flooding (ILSF) located on-site was delineated by LSC Environmental Consulting. An Abbreviated Notice of Resource Area Delineation showing the resource areas was submitted to the Avon Conservation Commission and approved through an Order of Resource Area Delineation (ORAD) issued by the Commission on June 8, 2017. The ORAD was extended on April 1, 2020. A copy of the ORAD and approved ANRAD plan can be found in Appendix A of this report.

### **3. PROPOSED CONDITIONS**

#### **3.1 PROPOSED SITE CONDITIONS**

The proposed project is a Chapter 40B development containing a total of 76 proposed units with associated site access, parking, grading, drainage and utilities including on-site subsurface disposal systems. These units are comprised of 9 single family dwellings, 11 duplexes, one 7-unit condominium building, one 10-unit condominium building and two 14-unit condominium buildings. To mitigate the quantity and quality of stormwater runoff discharging from the site, a stormwater management system has been designed to collect, treat and control flows leaving the site. The proposed stormwater management system consists of a series of deep sump hooded catch basins, pipes and manholes, which will collect and convey stormwater runoff to proposed water quality units and vegetated infiltration basins. The proposed infiltration basins have been designed to store the required recharge volume and have riprap overflow spillways with one foot of freeboard. Also, where feasible, roof recharge systems were added to recharge roof runoff on-site. These systems consist of Cultec 330XLHD chambers designed to recharge the entire 100-year storm. The stormwater management system has been designed to reduce peak flow rates from the existing to proposed conditions for all storm events. From an environmentally sensitive perspective, the aforementioned measures result in a design that promotes on-site groundwater recharge while preserving the natural hydrologic conditions.

#### **3.2 PROJECT IMPACTS**

Portions of the proposed project are located within the 100-foot wetland buffer zone, including 6 single-family houses, 5 buildings, 5 drainage basins, and roadway construction. All septic systems are located at least 50-feet from the edge of BVW and all buildings are located at least 25-feet from the edge of BVW. No work is proposed within the BVW or ILSF, and therefore no replication is proposed for the project. The 1,411 S.F. Isolated Vegetated Wetland (IVW) will be completely filled, but since IVW is not subject to the State Wetlands Protection Act no replication for this filling is required.

During construction, approximately 9,550 cubic yards of material will be cut from the site, taking into account an extra foot of top-soil, and approximately 91,806 cubic yards of material will be filled to the site. This yields a net fill volume of 82,256 cubic yards of material.

#### **3.3 EROSION AND SEDIMENT CONTROLS**

To limit potential impacts to the resource areas, erosion and sedimentation control Best Management Practices (BMPs) consisting of a silt fence & straw wattle erosion control barrier will be installed between the edge of work and the resource areas for each phase of the construction project. The erosion control barrier shall be inspected and maintained throughout construction and not removed until construction is complete and all disturbed areas have been stabilized. In addition, silt sack inlet protection shall be utilized on all proposed catch basins. A stabilized construction exit shall be installed for each phase of the project to stop any sediment from being tracked into the roadway.



## **4. CONCLUSION**

The proposed project is a Chapter 40B development located at the end of Joanna Road in Avon, Massachusetts, containing a total of 76 proposed units with associated site access, parking, grading, drainage and utilities including on-site subsurface disposal systems. Portions of the proposed work will be located within the 100-foot Buffer Zone to BVW. MBL respectfully requests that the Town of Avon Conservation Commission issue an Order of Conditions for the project, allowing the work to proceed as proposed.

**Figure 1: Aerial Map**

X:\2016\002\CIVIL\DESIGN\DRAINAGE\2016-002 Drainage Figures.dwg 8/8/2019 9:50:09 AM EDT



NOTE: INFORMATION ON THIS PLAN OBTAINED FROM MASSGIS USGS COLOR ORTHO IMAGERY 2008/2009.

# MBL

LAND DEVELOPMENT & PERMITTING, CORP.  
 LAND DEVELOPMENT, TRANSPORTATION AND ENVIRONMENTAL SOLUTIONS  
 770 BROADWAY, SUITE No. 6  
 RAYNHAM, MA 02767  
 P.508.297.2746 F.508.297.2756  
 EMAIL: info@MBLLandDevelopment.com  
 WEB: www.MBLLandDevelopment.com

AERIAL MAP

JOANNA HILLS ESTATES  
 ASSESSORS MAP C7-3 & PLOT 15

AVON

MASSACHUSETTS

PROJ. No: 2016-002

DATE: 8/8/2019

SCALE: 1"=500'

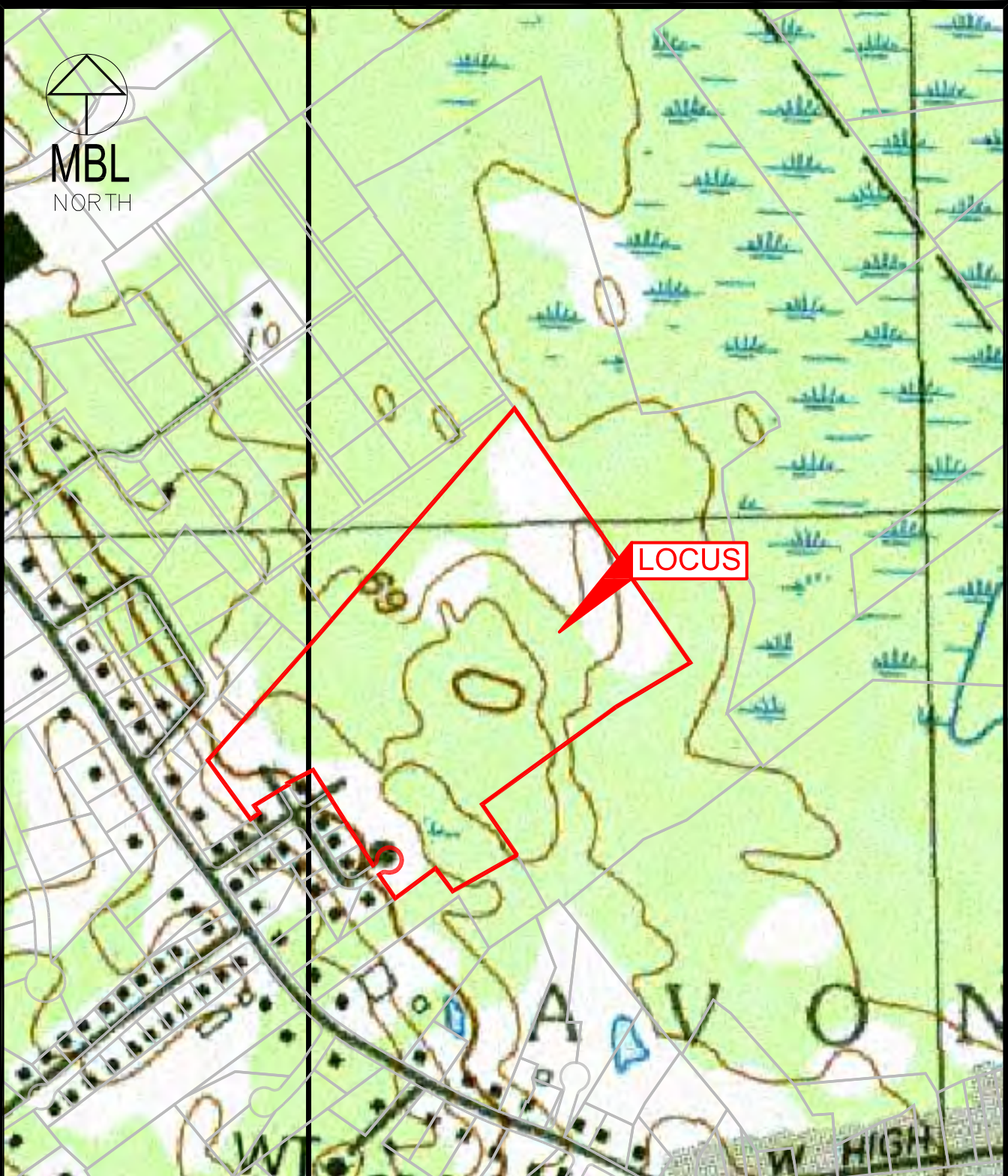
## FIGURE 1

## Figure 2: USGS Topographic Map

X:\2016\002\CIVIL\DESIGN\DRAINAGE\2016-002 Drainage Figures.dwg 8/8/2019 9:50:09 AM EDT



MBL  
NORTH



NOTE: INFORMATION ON THIS PLAN OBTAINED FROM MASSGIS SCANNED 1:25,000 USGS TOPOGRAPHIC QUAD IMAGES, JUNE 2001.

**MBL**

LAND DEVELOPMENT & PERMITTING, CORP.  
*LAND DEVELOPMENT, TRANSPORTATION AND ENVIRONMENTAL SOLUTIONS*  
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RAYNHAM, MA 02767  
P.508.297.2746 F.508.297.2756  
EMAIL: info@MBLLandDevelopment.com  
WEB: www.MBLLandDevelopment.com

USGS TOPOGRAPHIC MAP

JOANNA HILLS ESTATES  
ASSESSORS MAP C7-3 & PLOT 15

AVON

MASSACHUSETTS

PROJ. No: 2016-002

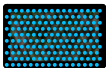
DATE: 8/8/2019

SCALE: 1"=500'

**FIGURE 2**

### Figure 3: Flood Insurance Rate Map

X:\2016\002\CIVIL\DESIGN\RAINAGE\2016-002 Drainage Figures.dwg 8/8/2019 9:50:09 AM EDT



ZONE X, AREAS BETWEEN THE LIMITS OF THE 100-YEAR AND 500-YEAR FLOODS



ZONE A, AREAS OF THE 100-YEAR, BASE FLOOD ELEVATION NOT DETERMINED



FLOODWAY AREAS IN ZONE AE

NOTE: FLOOD BOUNDARY INFORMATION SHOWN OBTAINED FROM FEMA FIRM MAP FOR COMMUNITY PANEL NO. 250021C0218E HAVING AN EFFECTIVE DATE OF JULY 17, 2012.

**MBL**

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 WEB: www.MBLLandDevelopment.com

FLOOD INSURANCE RATE MAP

JOANNA HILLS ESTATES  
 ASSESSORS MAP C7-3 & PLOT 15

AVON

MASSACHUSETTS

PROJ. No: 2016-002

DATE: 8/8/2019

SCALE: 1"=500'

**FIGURE 3**

## Figure 4: Natural Heritage Map



X:\2016\002\CIVIL\DESIGN\RAINAGE\2016-002 Drainage Figures.dwg 8/8/2019 9:50:09 AM EDT



ESTIMATED HABITATS OF RARE WILDLIFE



PRIORITY HABITATS OF RARE SPECIES

● CERTIFIED VERNAL POOL

NOTE: INFORMATION ON THIS PLAN OBTAINED FROM THE 14TH EDITION OF THE MASSACHUSETTS NATURAL HERITAGE ATLAS DATED AUGUST 1, 2017.

**MBL**

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NATURAL HERITAGE MAP

JOANNA HILLS ESTATES  
 ASSESSORS MAP C7-3 & PLOT 15

AVON

MASSACHUSETTS

PROJ. No: 2016-002

DATE: 8/8/2019

SCALE: 1"=500'

**FIGURE 4**

## Figure 5: Critical Areas



AREAS OF CRITICAL ENVIRONMENTAL CONCERN



WELLHEAD PROTECTION AREAS



OUTSTANDING RESOURCE WATERS

NOTE: INFORMATION ON THIS PLAN OBTAINED FROM MASS GIS DATABASE ACEC, IPWA, ZONE II AND OUTSTANDING RESOURCE WATERS DATA LAYER. THE LOCUS IS NOT LOCATED WITHIN A CRITICAL AREA.



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CRITICAL AREAS

JOANNA HILLS ESTATES  
 ASSESSORS MAP C7-3 & PLOT 15

AVON

MASSACHUSETTS

PROJ. No: 2016-002

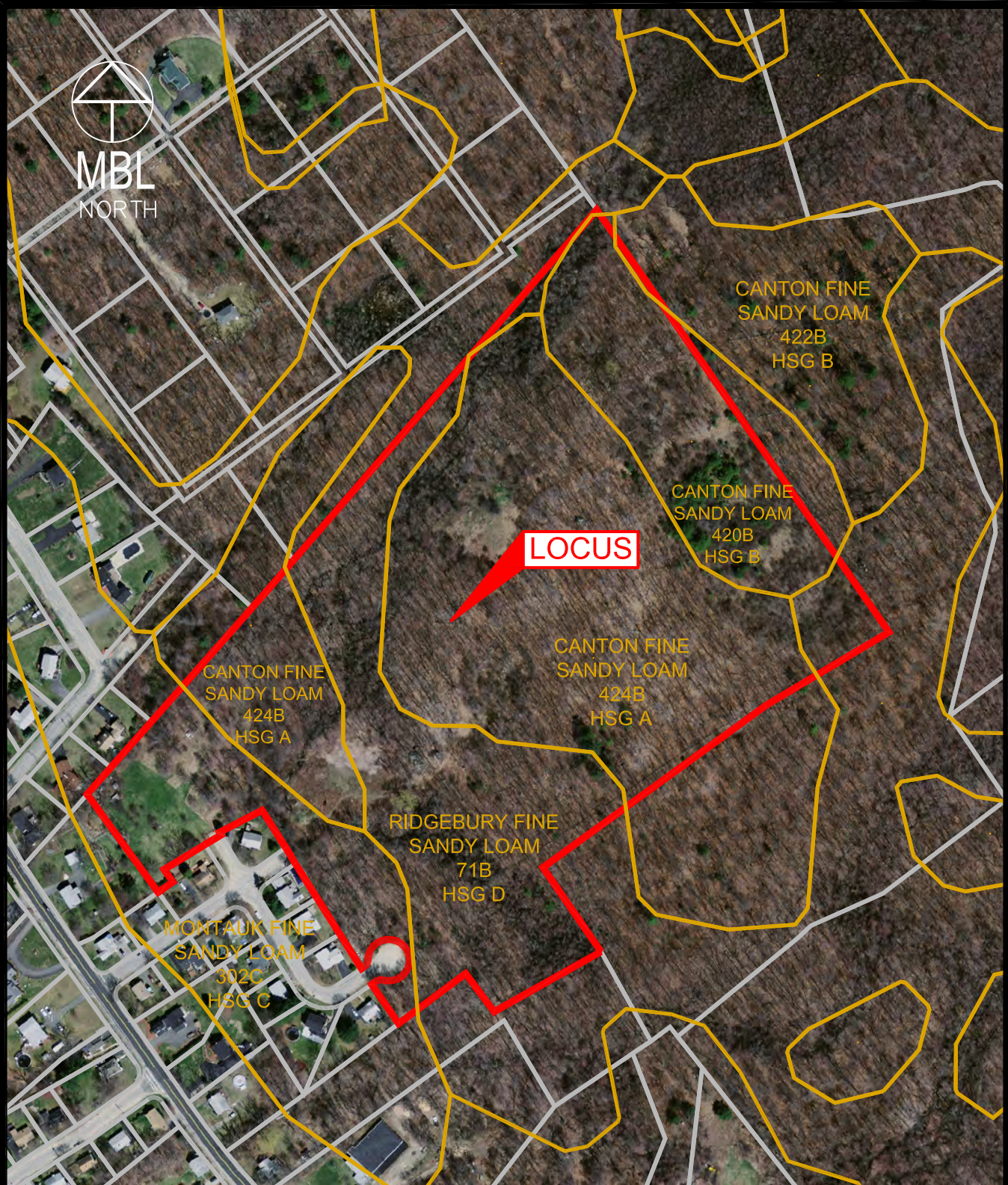
DATE: 8/8/2019

SCALE: 1"=500'

FIGURE 5

## Figure 6: Soils Map

X:\2016\002\CIVIL\DESIGN\DRAINAGE\2016-002 Drainage Figures.dwg 8/8/2019 9:50:09 AM EDT



NOTE: INFORMATION ON THIS PLAN OBTAINED FROM MASS GIS NRCS SSURGO-CERTIFIED SOILS DATA LAYER.



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LAND DEVELOPMENT, TRANSPORTATION AND ENVIRONMENTAL SOLUTIONS  
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RAYNHAM, MA 02767  
P.508.297.2746 F.508.297.2756  
EMAIL: info@MBLLandDevelopment.com  
WEB: www.MBLLandDevelopment.com

SOILS MAP

JOANNA HILLS ESTATES  
ASSESSORS MAP C7-3 & PLOT 15

AVON

MASSACHUSETTS

PROJ. No: 2016-002

DATE: 8/8/2019

SCALE: 1"=300'

FIGURE 6

## APPENDIX A: ORAD & ANRAD PLAN



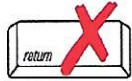
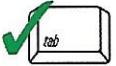
**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 4B – Order of Resource Area Delineation**

Provided by MassDEP:  
 SE 099-0161  
 MassDEP File Number  
 \_\_\_\_\_  
 eDEP Transaction Number  
 Avon  
 City/Town

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. General Information**

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**Note:** Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

From: Avon  
 1. Conservation Commission

2. This Issuance is for (check one):
- a.  Order of Resource Area Delineation
  - b.  Amended Order of Resource Area Delineation

3. Applicant:

Muhammad A. Itani  
 a. First Name b. Last Name

Stonebridge Homes, Inc.  
 c. Organization

32 Norfolk Avenue  
 d. Mailing Address

South Easton MA 02375  
 e. City/Town f. State g. Zip Code

4. Property Owner (if different from applicant):

Wisam Omran  
 a. First Name b. Last Name

SNA Realty Trust  
 c. Organization

24 Forest Edge Road  
 d. Mailing Address

South Easton MA 02375  
 e. City/Town f. State g. Zip Code

5. Project Location:

0 Joanna Road Avon 02322  
 a. Street Address b. City/Town c. Zip Code

AP C7-3 15  
 d. Assessors Map/Plat Number e. Parcel/Lot Number

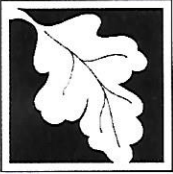
Latitude and Longitude (in degrees, minutes, seconds): 42d08m10.577s 71d03m7.8799s  
 f. Latitude g. Longitude

6. Dates: 02/23/2017  
 a. Date ANRAD filed b. Date Public Hearing Closed c. Date of Issuance

7. Title and Date (or Revised Date if applicable) of Final Plans and Other Documents:

ANRAD Plan-Assessors Map C-7-3 & Plot 15; Prepared by MBL Land Development & Permitting Corp.; Stamped by James E. Miller, P.E. 5/11/2017  
 b. Date

Abbreviated Notice of Resource Area Review; Prep By Nover-Armstrong 05/05/2017  
 c. Title d. Date



## WPA Form 4B – Order of Resource Area Delineation

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

SE 099-0161

MassDEP File Number

eDEP Transaction Number

Avon

City/Town

### B. Order of Delineation

1. The Conservation Commission has determined the following (check whichever is applicable):

a.  **Accurate:** The boundaries described on the referenced plan(s) above and in the Abbreviated Notice of Resource Area Delineation are accurately drawn for the following resource area(s):

1.  Bordering Vegetated Wetlands
2.  Other resource area(s), specifically:

a. (1) Isolated Vegetated Wetland / Isolated Land Subject to Flooding delineated in the field by the C-series flags.

b.  **Modified:** The boundaries described on the plan(s) referenced above, as modified by the Conservation Commission from the plans contained in the Abbreviated Notice of Resource Area Delineation, are accurately drawn from the following resource area(s):

1.  Bordering Vegetated Wetlands
2.  Other resource area(s), specifically:

a. (1) Isolated Vegetated Wetland delineated by the F-series flags in the field.

c.  **Inaccurate:** The boundaries described on the referenced plan(s) and in the Abbreviated Notice of Resource Area Delineation were found to be inaccurate and cannot be confirmed for the following resource area(s):

1.  Bordering Vegetated Wetlands
2.  Other resource area(s), specifically:

(1) Bordering Land Subject to Flooding; and (2) Bank and Land Under Water to an intermittent stream documented within the A-Series BVW.

3.  The boundaries were determined to be inaccurate because:

(1) The FEMA Zone A boundary shown on the ORAD Plan-of-Record is approximate only. No Base Flood Elevation (BFE) has been estimated by FEMA. (2) the intermittent stream documented within the A-Series BVW is not shown on the ORAD Plan-of-Record and has not been delineated in the field. (3) mean annual flood boundary of the certifiable vernal pool documented in the B-Series BVW is not shown on the ANRAD Plan (flooded conditions up to wetland flags #B8 - #B34 were observed in April 2017 by Peer Reviewer)





Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

## WPA Form 4B – Order of Resource Area Delineation

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

SE 099-0161

MassDEP File Number

eDEP Transaction Number

Avon

City/Town

---

### C. Findings

This Order of Resource Area Delineation determines that the boundaries of those resource areas noted above, have been delineated and approved by the Commission and are binding as to all decisions rendered pursuant to the Massachusetts Wetlands Protection Act (M.G.L. c.131, § 40) and its regulations (310 CMR 10.00). This Order does not, however, determine the boundaries of any resource area or Buffer Zone to any resource area not specifically noted above, regardless of whether such boundaries are contained on the plans attached to this Order or to the Abbreviated Notice of Resource Area Delineation.

This Order must be signed by a majority of the Conservation Commission. The Order must be sent by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).

---

### D. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate DEP Regional Office to issue a Superseding Order of Resource Area Delineation. When requested to issue a Superseding Order of Resource Area Delineation, the Department's review is limited to the objections to the resource area delineation(s) stated in the appeal request. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order of Resource Area Delineation will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order or Determination, or providing written information to the Department prior to issuance of a Superseding Order or Determination.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act, (M.G.L. c. 131, § 40) and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal bylaw or ordinance, and not on the Massachusetts Wetlands Protection Act or regulations, the Department of Environmental Protection has no appellate jurisdiction.



**WPA Form 4B – Order of Resource Area  
Delineation**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
SE 099-0161  
MassDEP File Number

eDEP Transaction Number  
Avon  
City/Town

**E. Signatures**

6/8/17  
Date of Issuance

Please indicate the number of members who will sign this form.

4  
1. Number of Signers

*[Signature]*  
Signature of Conservation Commission Member  
*[Signature]*  
Signature of Conservation Commission Member  
*[Signature]* Anthony Becker  
Signature of Conservation Commission Member  
*[Signature]*  
Signature of Conservation Commission Member

*[Signature]*  
Signature of Conservation Commission Member  
DAVID A Young  
Signature of Conservation Commission Member  
*[Signature]*  
Signature of Conservation Commission Member  
Edward Mekjian

**This Order is valid for three years from the date of issuance.**

If this Order constitutes an Amended Order of Resource Area Delineation, this Order does not extend the issuance date of the original Final Order, which expires on \_\_\_\_\_ unless extended in writing by the issuing authority.

This Order is issued to the applicant and the property owner (if different) as follows:

2.  By hand delivery on  
6/8/17  
a. Date

3.  By certified mail, return receipt requested on  
a. Date



**Request for Departmental Action Fee  
Transmittal Form**

Provided by DEP

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. Request Information**

1. Location of Project

_____	_____
a. Street Address	b. City/Town, Zip
_____	_____
c. Check number	d. Fee amount

2. Person or party making request (if appropriate, name the citizen group's representative):

\_\_\_\_\_

Name

\_\_\_\_\_

Mailing Address

_____	_____	_____
City/Town	State	Zip Code
_____	_____	
Phone Number	Fax Number (if applicable)	

3. Applicant (as shown on Determination of Applicability (Form 2), Order of Resource Area Delineation (Form 4B), Order of Conditions (Form 5), Restoration Order of Conditions (Form 5A), or Notice of Non-Significance (Form 6)):

\_\_\_\_\_

Name

\_\_\_\_\_

Mailing Address

_____	_____	_____
City/Town	State	Zip Code
_____	_____	
Phone Number	Fax Number (if applicable)	

4. DEP File Number:

\_\_\_\_\_

**B. Instructions**

1. When the Departmental action request is for (check one):

- Superseding Order of Conditions – Fee: \$120.00 (single family house projects) or \$245 (all other projects)
- Superseding Determination of Applicability – Fee: \$120
- Superseding Order of Resource Area Delineation – Fee: \$120

Send this form and check or money order, payable to the *Commonwealth of Massachusetts*, to:

Department of Environmental Protection  
Box 4062  
Boston, MA 02211

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.





**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

DEP File Number:

**Request for Departmental Action Fee  
Transmittal Form**

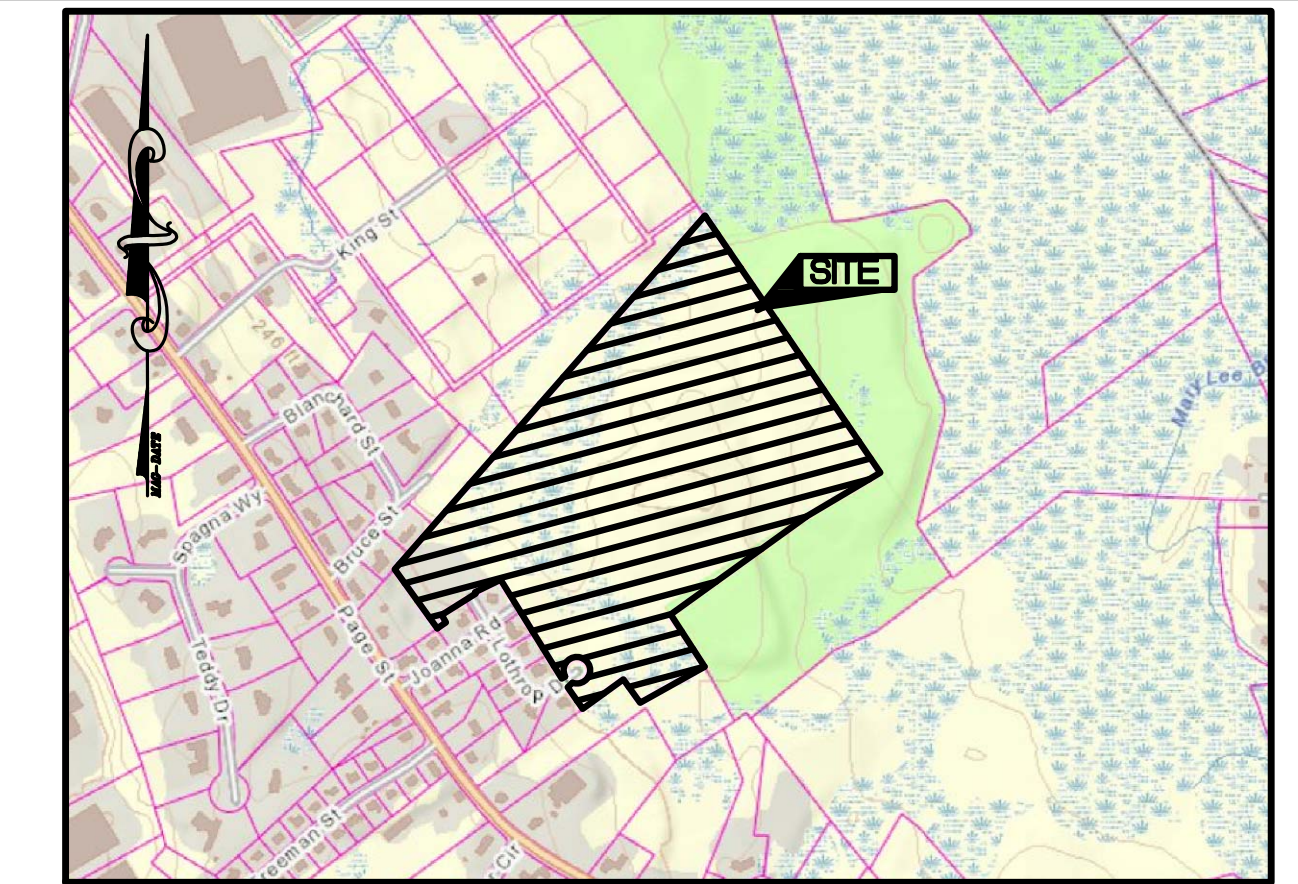
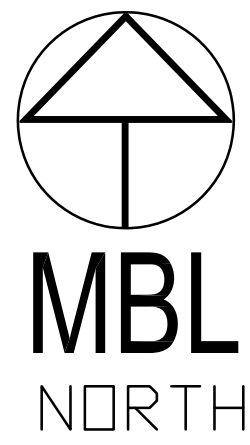
\_\_\_\_\_  
Provided by DEP

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

---

**B. Instructions (cont.)**

2. On a separate sheet attached to this form, state clearly and concisely the objections to the Determination or Order which is being appealed. To the extent that the Determination or Order is based on a municipal bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.
3. Send a **copy** of this form and a **copy** of the check or money order with the Request for a Superseding Determination or Order by certified mail or hand delivery to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/>).
4. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.



LOCUS  
SCALE: N.T.S.

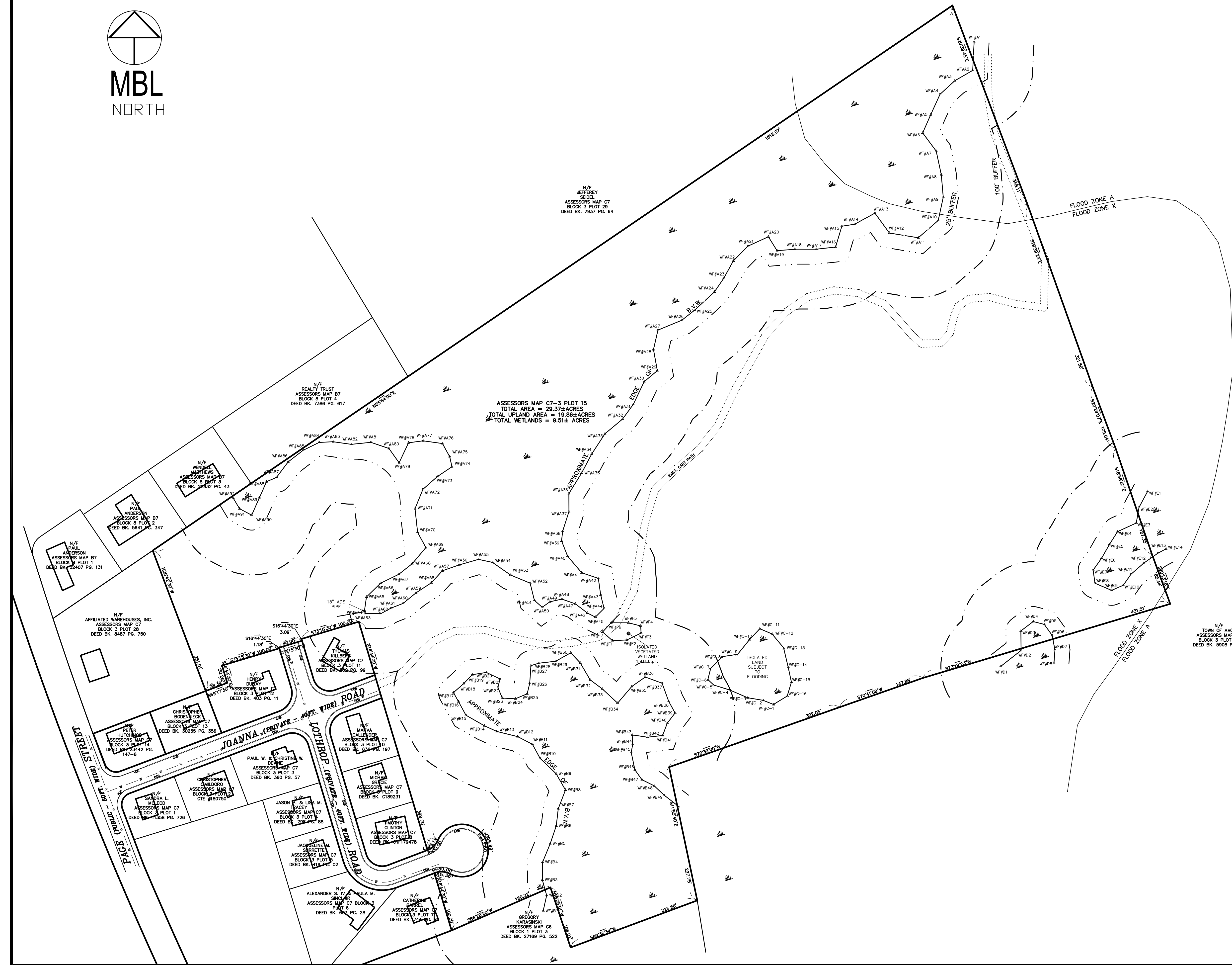
GENERAL NOTES :

- ZONING DISTRICT : RESIDENTIAL B
- SETBACKS F/S/R : 25'/15'/30'(CLUSTER DEVELOPMENT)
- MIN. LOT AREA : 25,000 S.F.(CLUSTER DEVELOPMENT)
- OWNER : SNA REALTY TRUST  
c/o WISAM R. OMRAN, TRUSTEE  
24 FOREST EDGE ROAD  
SOUTH EASTON, MA
- LOCUS PROPERTY IS COMPRISED OF : ASSESSORS MAP C7 BLOCK 3 LOT 15
- LOCUS DEED REFERENCE (NORFOLK COUNTY) : BOOK 34405 PAGE 471
- PLAN REFERENCE (NORFOLK COUNTY) : LC PLAN #26845A  
PLAN No. 1647 OF 1954 BK.1329 PG. 100  
PLAN No. 788 OF 1954 BK.1968 PG. 205  
PLAN No. 1115 OF 1980 BK.5824 PG. 330

COMMUNITY PANEL NUMBER 250210218E, PANEL 213 OF 430 THE FLOOD INSURANCE RATE MAP DEFINES A MAJORITY OF THE SITE AS FLOOD ZONE X WITH A MINORITY PORTION AS FLOOD ZONE A, DATED JULY 17, 2012

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.

THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION, PLANS, AN ACTUAL ON THE GROUND FIELD SURVEY AND WETLAND FLAGGING BY THIS FIRM AND LSC ENVIRONMENTAL CONSULTING APRIL 2016 THROUGH MAY 2017.

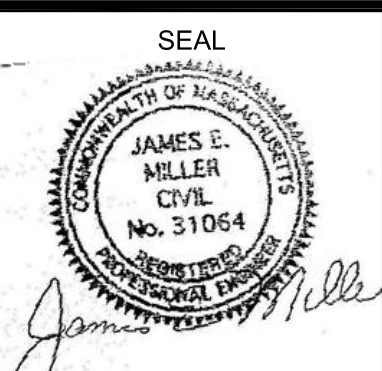


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 LMAN: CTB:  
 IMS VIEW:



No.	DATE	REVISIONS	DESCRIPTION	BY
1	5/11/2017	REVISED PER PEER REVIEW	SITE VISIT	THL

PROJ. MANAGER: MBL  
 CHIEF DESIGNER: MBL  
 REVIEWED BY: DATE



SEAL  
 SEAL  
 PREPARED FOR  
**STONEBRIDGE HOMES, INC.**  
 32 NORFOLK AVENUE  
 SOUTH EASTON MASSACHUSETTS

SCALE:  
 HORIZ.: 1"=80'  
 VERT.:  
 DATUM:  
 HORIZ.:  
 VERT.:  
 80 40 0 160  
 GRAPHIC SCALE

**MBL** LAND DEVELOPMENT & PERMITTING, CORP.  
 LAND DEVELOPMENT, TRANSPORTATION AND ENVIRONMENTAL SOLUTIONS  
 770 BROADWAY SUITE 6  
 RAYNHAM, MA. 02767  
 P.508.297.2746 F.508.297.2756  
 EMAIL: info@MBLLandDevelopment.com  
 WEB: www.MBLLandDevelopment.com

ANRAD PLAN  
 EXISTING CONDITIONS PLAN  
 OFF JOANNA ROAD  
 ASSESSORS MAP C7-3 & PLOT 15  
 AVON MASSACHUSETTS

PROJ. No.: 2016-002  
 DATE: FEBRUARY 2, 2017  
**ANRAD**

**APPENDIX B: AFFIDAVIT OF SERVICE, NOTIFICATION TO  
ABUTTERS & CERTIFIED ABUTTERS LIST**

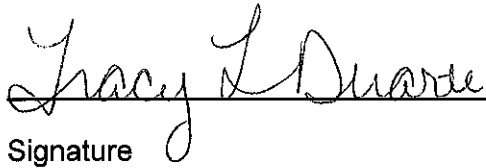
**AFFIDAVIT OF SERVICE**

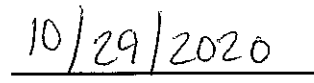
**Under the Massachusetts Wetlands Protection Act**

I, Tracy L. Duarte hereby certify under the pains and penalties of perjury that on **October 29, 2020** I gave notification to Abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the **DEP Guide to Abutter Notification** Dated April 8, 1994, and the Wetlands Protection Rules and Regulations in connection with the following matter:

**A Notice of Intent has been filed under the Massachusetts Wetlands Protection Act by MBL Land Development & Permitting Corp. on behalf of Joanna Hills LLC with the Avon Conservation Commission for the property located at Joanna Road (Map C7, Block 3, Lot 15) in Avon, MA.**

The form of the notification, and a list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.

  
Signature

  
Date

## CERTIFIED ABUTTERS LIST



**300' CERTIFIED ABUTTERS LIST**  
**JOANNA RD.**  
**ASSESSORS LOT C7-3-15**  
**AVON, MA**  
**REQUESTED BY:**  
**MBL LAND DEVELOPMENT AND PERMITTING CORP.**

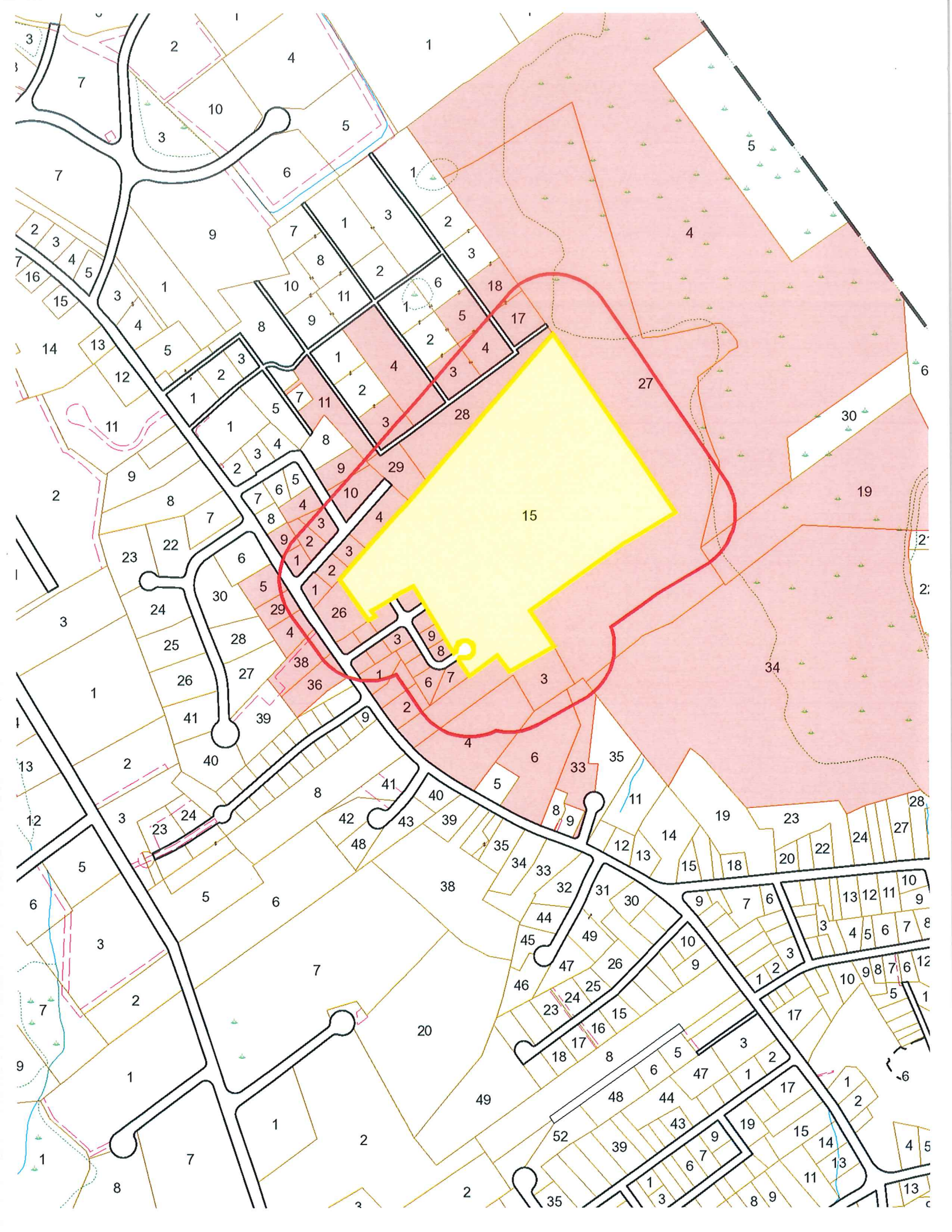
**Board of Assessors**  
**Certified Copy**

*Paul J. Sullivan*  
As of 5/31/20

Map	Block	Lot	Location	Owners Name	Mailing Address	City	St Zip
B6	2	36	304 Page St.	Lemasa, Carlton & Lemasa, Nicole M.	304 Page St.	Avon	MA 02322
B6	2	38	314 Page St.	Tran, Peter & Tran, Nancy, Tr. - Peter & Nancy Family Trust	314 Page St.	Avon	MA 02322
B7	3	29	342 Page St.	Campbell, James W. II & Campbell, Nancy E.	PO Box 124	Avon	MA 02322
B7	3	4	324 Page St.	Smoot, Joseph III	324 Page St.	Avon	MA 02322
B7	3	5	352 Page St.	Spagna, Peter J., Tr., Spagna Realty Trust	352 Page St.	Avon	MA 02322
B7	6	10	10 Blanchard St.	Griffin, Joan M., c/o Jean, James K.	10 Blanchard St.	Avon	MA 02322
B7	6	11	13 King St.	Zeng, Mei Su & Zeng, Wanyong	13 King St.	Avon	MA 02322
B7	6	9	8 Blanchard St.	McCarthy, Stephen James & McCarthy, Tayla Marie	8 Blanchard St.	Avon	MA 02322
B7	7	1	349 Page St.	Laguerre, Deverson & Laguerre, Beatrice	349 Page St.	Avon	MA 02322
B7	7	2	2 Bruce St.	Buccella, David J. & Buccella, Ellen M.	2 Bruce St.	Avon	MA 02322
B7	7	3	9 Blanchard St.	Buccella, Richard A. & Buccella, Patricia Ann	9 Blanchard St.	Avon	MA 02322
B7	7	4	5 Blanchard St.	Eddrif, Younes & Nguyen-Eddrif, Minh B.	5 Blanchard St.	Avon	MA 02322
B7	7	9	357 Page St.	Buccella, Domenic J. & Buccella, Patrick J.	357 Page St.	Avon	MA 02322
B7	8	1	335 Page St.	Lundy, Emmanuel & Lundy, Dambreville, Nirphemy	335 Page St.	Avon	MA 02322
B7	8	2	1 Bruce St.	Anderson, Paul W. & Anderson, Sandra L.	1 Bruce St.	Avon	MA 02322
B7	8	3	3 Bruce St.	Matthews, Wendell M. & Matthews, Patricia A. - L.E.	3 Bruce St.	Avon	MA 02322
B7	8	4	5 Bruce St.	Buccella, Mario D. & Buccella, John A. - Tr., Page St. Realty Trust	2 Bruce St.	Avon	MA 02322
C6	1	1	295 Page St.	Vil, Nadege & Paul, Jean Bony	295 Page St.	Avon	MA 02322
C6	1	2	287 Page St.	Toussaint, Lunick G.	287 Page St.	Avon	MA 02322
C6	1	3	265 Page St.	Karasinski, Gregory C.	265 Page St.	Avon	MA 02322
C6	1	32	291 Page St.	Mathieu, Judith C. & Mathieu, Francois	291 Page St.	Avon	MA 02322
C6	1	33	1 Carrel Ct.	Carrel, Owen T. & Carrel, Linda	1 Carrel Ct.	Avon	MA 02322
C6	1	34	West High St.	253 Page St. LLC.	32 Norfolk Ave.	S. Easton	MA 02375
C6	1	4	253 Page St.	253 Page St. LLC.	32 Norfolk Ave.	S. Easton	MA 02375
C6	1	6	209 Page St.	Pacheco, Pamela E.	209 Page St.	Avon	MA 02322
C7	1	3	King St.	Nordstrom, Glenn E., Tr. - D&G King Street Realty Trust	17 King St.	Avon	MA 02322
C7	1	4	17 King St.	Nordstrom, Glenn E. & Nordstrom, Darlene M.	17 King St.	Avon	MA 02322
C7	2	3	Avon Park (King St.)	Avon Housing Authority--Fellowship	Fellowship Circle	Avon	MA 02322
C7	2	4	Avon Park (King St.)	Avon, Town of	65 E. Main St.	Avon	MA 02322
C7	2	5	Avon Park (King St.)	Avon, Town of	65 E. Main St.	Avon	MA 02322
C7	3	1	301 Page St.	McLeod, Sandra L.	301 Page St.	Avon	MA 02322

**300' CERTIFIED ABUTTERS LIST  
JOANNA RD.  
ASSESSORS LOT C7-3-15  
AVON, MA  
REQUESTED BY:  
MBL LAND DEVELOPMENT AND PERMITTING CORP.**

C7	3	10	3 Lothrop Dr.	Callender, Marva Joan	3 Lothrop Dr.	Avon	MA 02322
C7	3	11	29 Joanna Rd.	Killberg, Thomas E. & Killberg, Amber D.	29 Joanna Rd.	Avon	MA 02322
C7	3	12	21 Joanna Rd.	MacPhee, Denis P.	21 Joanna Rd.	Avon	MA 02322
C7	3	13	13 Joanna Rd.	Bodensieck, Christopher	13 Joanna Rd.	Avon	MA 02322
C7	3	14	305 Page St.	Hutchings, Peter & Hutchings, Darlene	305 Page St.	Avon	MA 02322
C7	3	17	Avon Park (King St.)	Avon, Town of	65 E. Main St.	Avon	MA 02322
C7	3	18	Avon Park (King St.)	Avon, Town of	65 E. Main St.	Avon	MA 02322
C7	3	19	47 Langley Rd.	Graf, Eric B. & Graf, Leah I.	47 Langley Rd.	Avon	MA 02322
C7	3	2	14 Joanna Rd.	Pozzar, Christian G. & Pena, Ada M.	14 Joanna Rd.	Avon	MA 02322
C7	3	26	323 Page St.	Kennedy, Alfred D. & Kennedy, Lisa M.	323 Page St.	Avon	MA 02322
C7	3	27	Rear Page St.	Avon, Town of	65 E. Main St.	Avon	MA 02322
C7	3	28	King St.	Affiliated Warehouses	PO Box 333	Avon	MA 02322
C7	3	29	King St.	Seidel, Jeffrey C.	PO Box 527	Raynham Ctr.	MA 02768
C7	3	3	20 Joanna Rd.	Devine, Paul W. & Devine, Christine M.	20 Joanna Rd.	Avon	MA 02322
C7	3	4	10 Lothrop Dr.	Tracey, Jayson P. & Tracey, Lisa M.	10 Lothrop Dr.	Avon	MA 02322
C7	3	5	16 Lothrop Dr.	Soto, Jose	16 Lothrop Dr.	Avon	MA 02322
C7	3	6	22 Lothrop Dr.	Sinclair, Alexander S. IV & Sinclair, Paula M.	22 Lothrop Dr.	Avon	MA 02322
C7	3	7	28 Lothrop Dr.	Carrel, Catherine C., L.E.	28 Lothrop Dr.	Avon	MA 02322
C7	3	8	15 Lothrop Dr.	Clinton, Timothy & Colangeli, Andrea	15 Lothrop Dr.	Avon	MA 02322
C7	3	9	9 Lothrop Dr.	Gracie, Michael & Iamele, Kristi	9 Lothrop Dr.	Avon	MA 02322
C8	2	4	S of Wales to City	Edwards. Terry L. & Edwards, Katherine E.	80 South St.	Avon	MA 02322



# MBL Land Development & Permitting, Corp.

*Land Development, Transportation & Environmental Solutions*

## *Office Location*

770 Broadway Suite No.6  
Raynham, MA 02767  
P.508.297.2746  
F.508.297.2756

**Email:** [info@MBLLandDevelopment.com](mailto:info@MBLLandDevelopment.com)

## *Remittance Address*

P.O. Box 7001  
Somerset, MA 02726  
P.508.617.8541  
F.508.617.8543

**Website:** [www.MBLLandDevelopment.com](http://www.MBLLandDevelopment.com)

---

10/27/2020

Abutter to Assessors Plat C7, Block 3, Lot 15  
Joanna Road  
Avon, Massachusetts

RE: Notification to Abutters under the Massachusetts Wetlands Protection Act Chapter 131 Section 40  
Notice of Intent

Dear Abutter:

On behalf of our client, Joanna Hills LLC, MBL Land Development & Permitting Corp. is hereby notifying you of a filing of a Notice of Intent with the Avon Conservation Commission seeking the approval of the proposed project, consisting of a Chapter 40B development containing 76 proposed units with associated site access, parking, grading, drainage and utilities including an on-site subsurface disposal system. The site address is Joanna Road, Avon (Assessors Plat C7, Block 3, Lot 15). The public hearing on this Notice of Intent will be held virtually on November 12 at 7:00 PM. Information regarding this hearing will be provided online by the Town of Avon Conservation Commission.

Notice of the public hearing, including the date, time, and place will be published at least five days in advance in the Brockton Enterprise newspaper. Notice of the public hearing, including the date, time, and place will be posted on the bulletin board of the Town Hall not less than forty-eight hours in advance. You may also contact the Avon Conservation Commission Office at 508-588-0414 ext 1023 or the Southeastern Regional Office of the Department of Environmental Protection.

If you have any questions or concerns, please do not hesitate to contact us at 508-297-2746.

Sincerely,

MBL Land Development & Permitting Corp.



Brian M. Dunn  
President/Project Manager

## APPENDIX C: COPIES OF CHECKS + CERTIFIED MAILINGS

Joanna Hills, LLC  
32 Norfolk Avenue  
South Easton, MA 02375

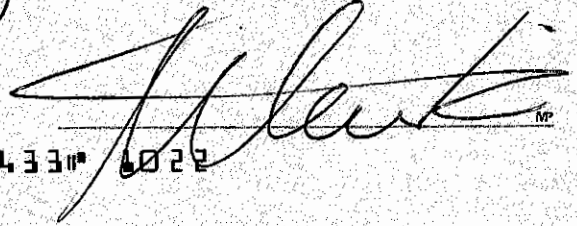
1022  
63-7204/2113

10/14/2020 Date

Pay to the Order of Commonwealth of Massachusetts \$ 6,662.50  
Six thousand six hundred sixty-two and 50/100 Dollars

Mechanics Cooperative Bank

Joanna Hills Estates, Avon  
For NDI - Filing Fee



⑆ 211372048⑆ 50 022433⑆ 6022

Joanna Hills, LLC  
32 Norfolk Avenue  
South Easton, MA 02375

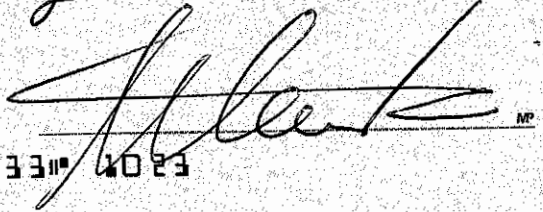
1023  
63-7204/2113

10/14/2020 Date

Pay to the Order of Town of Avon \$ 6,687.50  
Six thousand six hundred eighty-seven and 50/100 Dollars

Mechanics Cooperative Bank

Joanna Hills Estates, Avon  
For NDI - Filing Fee - Con Com.



⑆ 211372048⑆ 50 022433⑆ 6023

7017 0660 0000 7627 8681

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	

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Jayson & Lisa Tracey  
10 Lothrop Drive  
Avon, MA 02322

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Alexander & Paula Sinclair  
22 Lothrop Drive  
Avon, MA 02322

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Timothy Clinton & Andrea Colangeli  
15 Lothrop Drive  
Avon, MA 02322

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Avon Housing Authority -  
Fellowship  
Fellowship Circle  
Avon, MA 02322

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Jose Soto  
16 Lothrop Drive  
Avon, MA 02322

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Catherine Carrel  
28 Lothrop Drive  
Avon, MA 02322

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Sei Terry & Katherine Edwards  
 Str 80 South St  
 Cit Avon, MA 02322

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Sei Carlton & Nicole M. Lemasa  
 Str 304 Page St  
 Cit Avon, MA 02322

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Sei Joseph Smoot III  
 Str 324 Page St  
 Cit Avon, MA 02322

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Postage	\$0.55	
<b>Tot</b>	<b>\$6.95</b>	

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Sei Michael Gracie & Kristi Iamele  
 Str 9 Lothrop Drive  
 Cit Avon, MA 02322

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Postage	\$0.55	
<b>Tot</b>	<b>\$6.95</b>	

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Sei Peter & Nancy Tran - Peter &  
 Str Nancy Family Trust  
 Cit 314 Page St  
 Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Tot</b>	<b>\$6.95</b>	

Postmark Here  
10/29/2020

Sei James W. II & Nancy E. Campbell  
 Str Po Box 124  
 Cit Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 4725 2366

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Avon MA 02322  
**OFFICIAL USE**

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here  
10/29/2020

\$  
Sent  
To  
Street  
City

**Joan M. Griffin, C/O James K. Jean**  
10 Blanchard St  
Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 4725 2362

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Avon MA 02322  
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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here  
10/29/2020

\$  
Sent  
To  
Street  
City

**Stephen James & Tayla Marie  
McCarthy**  
8 Blanchard St  
Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 4729 7000

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here  
10/29/2020

\$  
Sent  
To  
Street  
City

**Gregory Karasinski**  
265 Page St  
Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 4725 2351

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here  
10/29/2020

\$  
Sent  
To  
Street  
City

**Peter J. Spagna, Spagna Realty  
Trust**  
352 Page St  
Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 4725 2375

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here  
10/29/2020

\$  
Sent  
To  
Street  
City

**Mei Su & Wanyong Zeng**  
13 King St  
Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 4725 2399

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here  
10/29/2020

\$  
Sent  
To  
Street  
City

**Deverson & Beatrice Laguerre**  
349 Page St  
Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 7627 8704

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Certified Mail Fee	\$3.55	0767
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	10/29/2020

Postmark Here

Sent Lunick Toussaint  
 287 Page St  
 Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 4729 6997

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Certified Mail Fee	\$3.55	0767
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	10/29/2020

Postmark Here

Sent David J & Ellen M Buccella  
 2 Bruce St  
 Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 7627 8728

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Certified Mail Fee	\$3.55	0767
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	10/29/2020

Postmark Here

Sent Mario & John Buccella, Page St  
 Realty Trust  
 2 Bruce St  
 Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 7627 8711

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Certified Mail Fee	\$3.55	0767
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	10/29/2020

Postmark Here

Sent Nadege Vil & Jean Bony Paul  
 295 Page St  
 Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 7627 8742

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Extra Services & Fees (check box, add fee as appropriate)	\$2.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	10/29/2020

Postmark Here

Sent Paul W & Sandra L Anderson  
 1 Bruce St  
 Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 7627 8735

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Extra Services & Fees (check box, add fee as appropriate)	\$2.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	10/29/2020

Postmark Here

Sent Wendell M & Patricia A Matthews  
 3 Bruce St  
 Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 7627 8773

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Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0767  
33  
Postmark  
Here

Postage \$0.55  
\$ Tot \$6.95

Younes Eddrif & Minh B Nguyen  
Eddrif  
5 Blanchard St  
Avon, MA 02322

7017 0660 0000 7627 8760

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Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0767  
33  
Postmark  
Here

Postage \$0.55  
\$ Tot \$6.95

Richard A & Patricia Ann Buccella  
9 Blanchard St  
Avon, MA 02322

7017 0660 0000 7627 7998

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Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0767  
33  
Postmark  
Here

Postage \$0.55  
\$ Tot \$6.95

Denis MacPhee  
21 Joanna Road  
Avon, MA 02322

7017 0660 0000 7627 8759

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Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0767  
33  
Postmark  
Here

Postage \$0.55  
\$ Tot \$6.95

Emmanuel & Dambreville Lundy  
335 Page St  
Avon, MA 02322

7017 0660 0000 7627 8766

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0767  
33  
Postmark  
Here

Postage \$0.55  
\$ Tot \$6.95

Domenic J & Patrick J Buccella  
357 Page St  
Avon, MA 02322

7017 0660 0000 7627 7981

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0767  
33  
Postmark  
Here

Postage \$0.55  
\$ Tot \$6.95

Thomas & Amber Killberg  
29 Joanna Road  
Avon, MA 02322

7017 0660 0000 7627 8016

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Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here 0767 33

10/29/2020

Sent Peter & Darlene Hutchings  
 Street 305 Page St  
 City Avon, MA 02322

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7020 0090 0001 4729 7055

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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here 0767 33

10/29/2020

Sent Alfred & Lisa Kennedy  
 Street 323 Page Street  
 City Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 4729 7062

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

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10/29/2020

Sent Affiliated Warehouses  
 PO Box 333  
 Avon, MA 02322

for Instructions

7017 0660 0000 7627 8001

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Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here 0767 33

10/29/2020

Sent Christopher Bodensieck  
 Street 13 Joanna Road  
 City Avon, MA 02322

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 4729 7031

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here 0767 33

10/29/2020

Sent Eric & Leah Grad  
 Street 47 Langley Road  
 City Avon, MA 02322

for Instructions

7020 0090 0001 4729 7048

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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

Postmark Here 0767 33

10/29/2020

Sent Christian Pozzar & Ada Pena  
 Street 14 Joanna Road  
 City Avon, MA 02322

for Instructions

7020 0090 0001 4729 7123

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Extra Services & Fees (check box, add fee as appropriate)	\$7.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	

Postmark Here  
RAYNHAM MA 02768  
10/29/2020

Sandra Mcleod  
301 Page St  
Avon, MA 02322  
for Instructions

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Certified Mail Fee	\$3.55	0767
Extra Services & Fees (check box, add fee as appropriate)	\$7.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	

Postmark Here  
RAYNHAM MA 02768  
10/29/2020

Joan Callender  
3 Lothrop Drive  
Avon, MA 02322  
for Instructions

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Certified Mail Fee	\$3.55	0767
Extra Services & Fees (check box, add fee as appropriate)	\$7.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	

Postmark Here  
RAYNHAM MA 02768  
10/29/2020

Glenn Nordstrom, D & G King  
Street Realty Trust  
17 King St  
Avon, MA 02322  
for Instructions

7020 0090 0001 4729 7161

7020 0090 0001 4729 7079

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Raynham Center, MA 02768  
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Certified Mail Fee	\$3.55	0767
Extra Services & Fees (check box, add fee as appropriate)	\$7.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	

Postmark Here  
RAYNHAM MA 02768  
10/29/2020

Jeffrey Seidel  
PO Box 527  
Raynham Ctr, MA 02768  
for Instructions

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Certified Mail Fee	\$3.55	0767
Extra Services & Fees (check box, add fee as appropriate)	\$7.85	33
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
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Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	

Postmark Here  
RAYNHAM MA 02768  
10/29/2020

Town of Avon  
65 East Main St  
Avon, MA 02322  
for Instructions

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total</b>	<b>\$6.95</b>	

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Glenn & Darlene Nordstrom  
17 King St  
Avon, MA 02322  
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7020 0090 0001 4729 7154

7020 0090 0001 4729 7185

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Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

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253 Page St LLC  
 32 Norfolk Avenue  
 South Easton, MA 02375

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

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Pamela Pacheco  
 209 Page St  
 Avon, MA 02322

for Instructions

7020 0090 0001 4729 7092

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

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Judith & Francois Mathieu  
 291 Page St  
 Avon, MA 02322

for Instructions

7020 0090 0001 4729 7109

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Extra Services & Fees (check box, add fee as appropriate)	\$7.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

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 10/29/2020

Owen & Linda Carrel  
 1 Carrel Court  
 Avon, MA 02322

for Instructions

7020 0090 0001 4729 7086

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
<b>Total</b>	<b>\$6.95</b>

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 10/29/2020

Paul & Christine Devine  
 20 Joanna Road  
 Avon, MA 02322

for Instructions

APPENDIX D: FEMA LETTER OF MAP AMENDMENT  
DETERMINATION



# Federal Emergency Management Agency

Washington, D.C. 20472

**December 12, 2019**

MRS. TRACY DUARTE  
MBL LAND DEVELOPMENT  
770 BROADWAY  
SUITE NO. 6  
RAYNHAM, MA 02767

**CASE NO.: 19-01-1880A**  
COMMUNITY: TOWN OF AVON, NORFOLK  
COUNTY, MASSACHUSETTS  
COMMUNITY NO.: 250231

DEAR MRS. DUARTE:

This is in reference to a request that the Federal Emergency Management Agency (FEMA) determine if the property described in the enclosed document is located within an identified Special Flood Hazard Area, the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood), on the effective National Flood Insurance Program (NFIP) map. Using the information submitted and the effective NFIP map, our determination is shown on the attached Letter of Map Amendment (LOMA) Determination Document. This determination document provides additional information regarding the effective NFIP map, the legal description of the property and our determination.

Additional documents are enclosed which provide information regarding the subject property and LOMAs. Please see the List of Enclosures below to determine which documents are enclosed. Other attachments specific to this request may be included as referenced in the Determination/Comment document. If you have any questions about this letter or any of the enclosures, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

Sincerely,

A handwritten signature in black ink, appearing to read "Luis V. Rodriguez".

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration

## **LIST OF ENCLOSURES:**

LOMA-DEN DETERMINATION DOCUMENT (NON-REMOVAL)

cc: State/Commonwealth NFIP Coordinator  
Community Map Repository  
Region





# Federal Emergency Management Agency

Washington, D.C. 20472

## **ADDITIONAL INFORMATION REGARDING DENIALS OF REQUESTS FOR LETTERS OF MAP AMENDMENT AND LETTERS OF MAP REVISION BASED ON FILL**

When making determinations on requests for Letters of Map Amendment (LOMAs) and Letters of Map Revision based on the placement of fill (LOMR-Fs), the Department of Homeland Security's Federal Emergency Management Agency (FEMA) bases its determination on the flood hazard information available at the time of the determination. Requesters should be aware that flood conditions may change or new information may be generated that would supersede FEMA's determination. In such cases, the community will be informed by letter.

Requesters also should be aware that FEMA's denial of a request to remove a property (parcel of land or structure) from the Special Flood Hazard Area (SFHA) means FEMA has determined the property is subject to inundation by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). As mentioned earlier, this determination is based on the flood hazard information available at the time. If more detailed property or flood hazard information becomes available, and the requester believes the information will support removing the property from the SFHA, the requester may submit the information to FEMA at any time and request that FEMA reconsider its determination. In areas where base flood elevations (BFEs) shown on the effective National Flood Insurance Program (NFIP) map were used for the original determination, new BFEs cannot be used until they have been proposed and finalized through the community appeal process. The appeal process is described in detail in Part 67 of the NFIP regulations.

If FEMA denies a request for a LOMA because the elevation of the lowest adjacent grade (the lowest ground touching a structure) is below the BFE and that elevation is raised to or above the BFE by the placement of fill material, the requester may submit the appropriate supporting data and request a LOMR-F in accordance with Paragraph 65.5(a)(4) of the NFIP regulations. In this circumstance, if both the elevation of the lowest ground touching the structure *and* the elevation of the lowest floor (including basement/crawl space) are at or above the BFE, FEMA will issue a LOMR-F to remove the structure from the SFHA.

If fill material is used to elevate the lowest ground touching the structure and the lowest floor (including basement/crawl space) to or above the BFE, the requester also must submit a completed copy of Form 4, "Community Acknowledgment of Requests Involving Fill," from the MT-1 application forms package that is to be used for all LOMR-F requests. The application forms package may be downloaded directly from our Web site at <https://www.fema.gov/media-library/assets/documents/31858>, or copies may be obtained by calling the FEMA Map Information eXchange, toll free, at 1-877-FEMA MAP (1-877-336-2627).

Effective October 1, 1996, FEMA revised the fee schedule for reviewing and processing requests for conditional and final modifications to published flood information and maps, thereby establishing flat review and processing fees for most types of requests. Effective February 20, 2015, FEMA modified that fee schedule. All new requests will be processed under the current fee schedule.

There is no review and processing fee for a LOMA request. The review and processing fees for CLOMAs, CLOMR-Fs, and LOMR-Fs are shown below.

<b>CLOMAs, CLOMR-Fs, and LOMR-Fs</b>	<b>Paper Form Fee</b>	<b>Online LOMC Fee</b>
Single-lot/single-structure CLOMAs and CLOMR-Fs	\$600	\$500
Single-lot/single-structure LOMR-Fs	\$525	\$425
Multiple-lot/multiple-structure CLOMAs	\$800	\$700
Multiple-lot/multiple-structure CLOMR-Fs and LOMR-Fs	\$900	\$800
Single-lot/single-structure LOMR-Fs based on as-built information (CLOMR-F previously issued by FEMA)	\$425	\$325
Multiple-lot/multiple-structure LOMR-Fs based on as-built information (CLOMR-F previously issued by FEMA)	\$800	\$700

*Please note: To receive a \$100 discount on the processing fee, please submit your request electronically using FEMA's Online LOMC Tool at <https://hazards.fema.gov/femaportal/onlinelomc/signin>.*

The review and processing fee must be received before FEMA can begin processing a request. Payment of the fee shall be made in the form of a check or money order, made payable in U.S. funds to the National Flood Insurance Program, or by credit card. The payment must be forwarded to the following address:

Federal Emergency Management Agency  
 LOMC Clearinghouse  
 3601 Eisenhower Avenue, Suite 500  
 Alexandria, VA 22304-6426



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (NON-REMOVAL)

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	TOWN OF AVON, NORFOLK COUNTY, MASSACHUSETTS	A parcel of land, as described in the Quitclaim Deed recorded as Document No. 86331, in Book 34405, Pages 471, 472, and 273, in the Office of the Registry of Deeds, Norfolk County, Massachusetts  The portion of property is more particularly described by the following metes and bounds:
	COMMUNITY NO.: 250231	
AFFECTED MAP PANEL	NUMBER: 25021C0218E DATE: 7/17/2012	
FLOODING SOURCE: MARY LEE BROOK		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 42.139392, -71.049825 SOURCE OF LAT & LONG: LOMA LOGIC DATUM: NAD 83

### DETERMINATION

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS NOT REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
--	--	--	Joanna Road	Portion of Property	A	213.0 feet	--	212.8 feet

**Special Flood Hazard Area (SFHA)** - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

**ADDITIONAL CONSIDERATIONS** (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

LEGAL PROPERTY DESCRIPTION  
ZONE A

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Amendment for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the described portion(s) of the property(ies) is/are located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). Therefore, flood insurance is required for the property described above. The lowest adjacent grade elevation to a structure must be at or above the Base Flood Elevation for a structure to be outside of the SFHA.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination and information regarding your options for obtaining a Letter of Map Amendment. If you have any questions about this document, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (NON-REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

### LEGAL PROPERTY DESCRIPTION (CONTINUED)

BEGINNING at a drill hole in a stone wall located in the northeasterly corner of land now or formerly of Affiliated Warehouses Inc., thence S 20°39'45" E, 358.11 feet by land now or formerly of the Town of Avon to a drill hole, thence S 19°39'23" E, 33.78 feet by said land to a point; thence S 79°56'45" W, 45.93 feet to a point; thence N 80°26'04" W, 203.39 feet to a point; thence N 65°59'41" W, 84.63 feet to a point; thence N 41°29'38" W, 106.67 feet to a point; thence N 15°20'46" W, 45.72 feet to a stone wall at the land of Affiliated Warehouses Inc.; thence N 55°44'00" E by a stone wall and the land of Affiliated Warehouses Inc., 324.46 feet to the POINT OF BEGINNING  
**ZONE A (This Additional Consideration applies to the preceding 1 Property.)**

The National Flood Insurance Program map affecting this property depicts a Special Flood Hazard Area that was determined using the best flood hazard data available to FEMA, but without performing a detailed engineering analysis. The flood elevation used to make this determination is based on approximate methods and has not been formalized through the standard process for establishing base flood elevations published in the Flood Insurance Study. This flood elevation is subject to change.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

A handwritten signature in black ink, appearing to read "Luis V. Rodriguez".

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration

# APPENDIX E: STORMWATER OPERATION & MAINTENANCE PLAN

To keep the stormwater management system functioning properly and to ensure that the Total Suspended Solids (TSS) are reduced, periodic inspections and maintenance of the system is required. The operation and maintenance of all components of the proposed stormwater management system will be the responsibility of the following:

Joanna Hills, LLC

The following is a guideline of the specific maintenance schedules and tasks on a component by component basis that is required to keep the stormwater management system functioning properly. A log of the maintenance performed is to be perpetually maintained and a copy submitted to the Avon Conservation Commission annually.

### **DEEP SUMP CATCH BASINS**

Unscheduled Maintenance: At the end of foliage and snow-removal seasons, inspect or clean the basin. Remove any branches, trash or other large debris that could interfere with the proper operation of the stormwater management system. Whenever the depth of deposits is greater than or equal to one half the depth from the bottom of the invert of the lowest pipe in the basin, remove any accumulated sediment with clamshell buckets or vacuum trucks.

Quarterly Maintenance: Inspect or clean the basin. Remove any branches, trash or other large debris that could interfere with the proper operation of the stormwater management system. Remove any accumulated sediment with clamshell buckets or vacuum trucks.

### **WATER QUALITY UNITS**

See attached on the following pages, the operation and maintenance requirements and owner's manual for the Stormceptor Water Quality Units.

### **PAVED AREAS**

Quarterly Maintenance: Sweep, vacuum, or clean paved areas to reduce the amount of sediment entering the stormwater management system.

### **INFILTRATION BASINS WITH RIPRAP OVERFLOW SPILLWAYS**

Unscheduled Maintenance: After rain events in excess of two inches, or after any snow or rain event accompanied by high winds, inspect the basin for debris. Remove any branches, trash, or other large debris that could interfere with the proper operation of the stormwater management system.

General Maintenance: Maintain the grassed side slopes of the basin through regular mowing. Keep the grass between three to six inches in length. Remove grass clippings to prevent them from impeding the flow of stormwater. During the spring and fall, remove any accumulated leaves from the basin including the rip rap overflow spillway. Reset any displaced rip rap.

Quarterly Maintenance: Inspect the basin for debris. Remove any branches, trash or other large debris that could interfere with the proper operation of the stormwater management system. Remove any accumulated sediment by the use of hand tools (rakes, shovels, wheelbarrows, etc.) when it exceeds three inches.

Annual Maintenance: Inspect the basin for debris. Remove any branches, trash or other large debris that could interfere with the proper operation of the stormwater management system. Remove any accumulated sediment by the use of hand tools (rakes, shovels, wheelbarrows, etc.) annually. Reset any displaced rip rap from the overflow spillway.

### **CULTEC 330XLHD INFILTRATION CHAMBERS (ROOF RECHARGE)**

See attached on the following pages, the operation and maintenance requirements

Semi Annual Maintenance (Spring And Fall): Check inlets and outlets for clogging and remove any debris that could interfere with the proper operation of the system.

**STORMWATER OPERATION + MAINTENANCE (O+M) PLAN**

**PAVED AREAS:**

**QUARTERLY MAINTENANCE:** SWEEP, VACUUM, OR CLEAN PAVED AREAS TO REDUCE THE AMOUNT OF SEDIMENT ENTERING THE STORMWATER MANAGEMENT SYSTEM.

**DEEP SUMP CATCH BASINS:**

**UNCHEDULED MAINTENANCE:** AT THE END OF FOLIAGE AND SNOW-REMOVAL SEASONS, INSPECT OR CLEAN THE BASIN. REMOVE ANY BRANCHES, TRASH OR OTHER LARGE DEBRIS THAT COULD INTERFERE WITH THE PROPER OPERATION OF THE STORMWATER MANAGEMENT SYSTEM. WHENEVER THE DEPTH OF DEPOSITS IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT OF THE LOWEST PIPE IN THE BASIN, REMOVE ANY ACCUMULATED SEDIMENT WITH CLAMSHELL BUCKETS OR VACUUM TRUCKS.

**QUARTERLY MAINTENANCE:** INSPECT OR CLEAN THE BASIN. REMOVE ANY BRANCHES, TRASH OR OTHER LARGE DEBRIS THAT COULD INTERFERE WITH THE PROPER OPERATION OF THE STORMWATER MANAGEMENT SYSTEM. REMOVE ANY ACCUMULATED SEDIMENT WITH CLAMSHELL BUCKETS OR VACUUM TRUCKS.

**INFILTRATION BASIN WITH OVERFLOW SPILLWAY:**

**UNCHEDULED MAINTENANCE:** AFTER RAIN EVENTS IN EXCESS OF TWO INCHES, OR AFTER ANY SNOW OR RAIN EVENT ACCOMPANIED BY HIGH WINDS, INSPECT THE BASIN FOR DEBRIS. REMOVE ANY BRANCHES, TRASH, OR OTHER LARGE DEBRIS THAT COULD INTERFERE WITH THE PROPER OPERATION OF THE STORMWATER MANAGEMENT SYSTEM.

**GENERAL MAINTENANCE:** MAINTAIN THE GRASSED SIDE SLOPES OF THE BASIN THROUGH REGULAR MOWING. KEEP THE GRASS BETWEEN THREE TO SIX INCHES IN LENGTH. REMOVE GRASS CLIPPINGS TO PREVENT THEM FROM IMPEDING THE FLOW OF STORMWATER. DURING THE SPRING AND FALL, REMOVE ANY ACCUMULATED LEAVES FROM THE BASIN INCLUDING THE RIP RAP OVERFLOW SPILLWAY. RESET ANY DISPLACED RIP RAP.

**QUARTERLY MAINTENANCE:** INSPECT THE BASIN FOR DEBRIS. REMOVE ANY BRANCHES, TRASH OR OTHER LARGE DEBRIS THAT COULD INTERFERE WITH THE PROPER OPERATION OF THE STORMWATER MANAGEMENT SYSTEM. REMOVE ANY ACCUMULATED SEDIMENT BY THE USE OF HAND TOOLS (RAKES, SHOVELS, WHEELBARROWS, ETC.) WHEN IT EXCEEDS THREE INCHES.

**ANNUAL MAINTENANCE:** INSPECT THE BASIN FOR DEBRIS. REMOVE ANY BRANCHES, TRASH OR OTHER LARGE DEBRIS THAT COULD INTERFERE WITH THE PROPER OPERATION OF THE STORMWATER MANAGEMENT SYSTEM. REMOVE ANY ACCUMULATED SEDIMENT BY THE USE OF HAND TOOLS (RAKES, SHOVELS, WHEELBARROWS, ETC.) ANNUALLY. RESET ANY DISPLACED RIP RAP FROM THE OVERFLOW SPILLWAY.

**ANNUAL MAINTENANCE:** INSPECT THE CULVERTS AND FLARED END SECTIONS FOR DEBRIS. RESET ANY DISPLACED RIP RAP FROM THE AROUND THE FLARED END SECTIONS. REMOVE ANY BRANCHES, TRASH OR OTHER LARGE DEBRIS THAT COULD PLUG THE CULVERTS. REMOVE ANY ACCUMULATED SEDIMENT BY THE USE OF HAND TOOLS OR VAC TRUCK, IF NECESSARY.

**CULTEC (330XLHD) INFILTRATION CHAMBERS (ROOF RECHARGE):**

SEE FULL O&M REQUIREMENTS ATTACHED IN DRAINAGE REPORT.

**SEMI ANNUAL MAINTENANCE (SPRING AND FALL):** CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS THAT COULD INTERFERE WITH THE PROPER OPERATION OF THE SYSTEM.

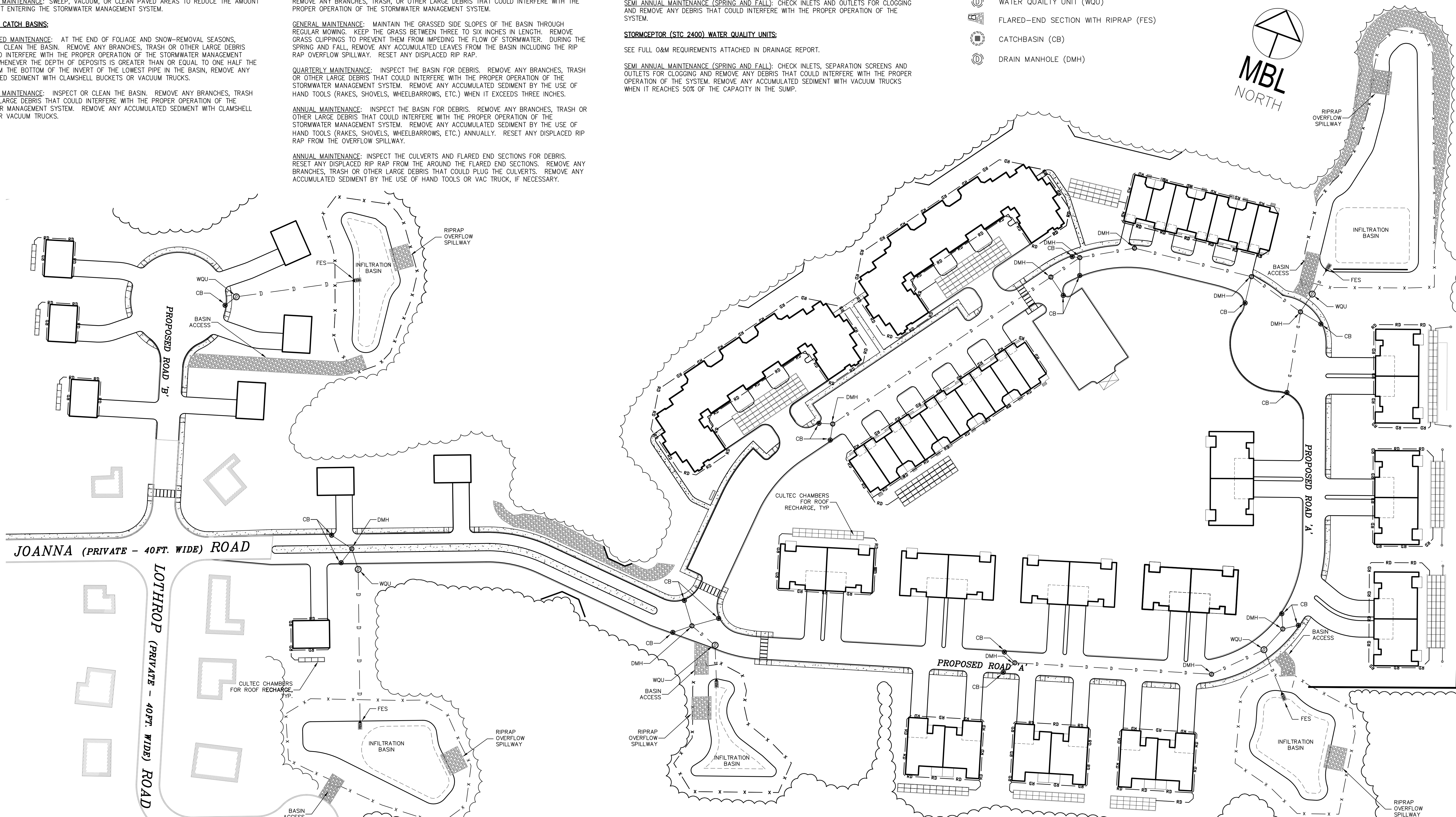
**STORMCEPTOR (STC 2400) WATER QUALITY UNITS:**

SEE FULL O&M REQUIREMENTS ATTACHED IN DRAINAGE REPORT.

**SEMI ANNUAL MAINTENANCE (SPRING AND FALL):** CHECK INLETS, SEPARATION SCREENS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS THAT COULD INTERFERE WITH THE PROPER OPERATION OF THE SYSTEM. REMOVE ANY ACCUMULATED SEDIMENT WITH VACUUM TRUCKS WHEN IT REACHES 50% OF THE CAPACITY IN THE SUMP.

**LEGEND**

- WATER QUALITY UNIT (WQU)
- FLARED-END SECTION WITH RIPRAP (FES)
- CATCHBASIN (CB)
- DRAIN MANHOLE (DMH)



**NOTES:**  
1. AN OPERATION & MAINTENANCE LOG IS TO BE MAINTAINED. COPIES OF THE MAINTENANCE LOG ARE TO BE SUBMITTED ANNUALLY TO THE CONSERVATION COMMISSION.

LUGS: X:\2016\002\CIVIL\DESIGN\DRAINAGE\Report Rev1\Components\2016-002 O&M BMP Map.dwg 3/9/2020 12:22:20 PM EDT  
 LMAN: CTB:  
 IMS VIEW:

1	3/6/2020	REVISIONS PER TOWN & CONSULTANT COMMENTS	TLD
No.	DATE	DESCRIPTION	BY
REVISIONS			

PROJ. MANAGER:	MBL	SEAL	SEAL
CHIEF DESIGNER:	MBL		
REVIEWED BY:	DATE		

PREPARED FOR  
**JOANNA HILLS LLC**  
 32 NORFOLK AVENUE  
 SOUTH EASTON MASSACHUSETTS

SCALE:  
 HORZ.: 1"=50'  
 VERT.:  
 DATUM:  
 HORZ.:  
 VERT.:  
 GRAPHIC SCALE

**MBL**  
 LAND DEVELOPMENT & PERMITTING, CORP.  
 LAND DEVELOPMENT, TRANSPORTATION AND ENVIRONMENTAL SOLUTIONS  
 770 BROADWAY SUITE 6  
 RAYNHAM, MA 02767  
 P: 508.297.2746 F: 508.297.2756  
 EMAIL: info@MBLLandDevelopment.com  
 WEB: www.MBLLandDevelopment.com

SITE PLANS  
**OPERATION & MAINTENANCE BMP MAP**  
 CHAPTER 40B - JOANNA HILLS ESTATES  
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15  
 AVON MASSACHUSETTS

PROJ. No.: 2016-002  
 DATE: MARCH 6, 2020  
**O&M**