

PLAN
SCALE: 1"=100'

I, THE TOWN CLERK FOR AVON, MA., HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THESE PLANS WAS RECEIVED FROM THE PLANNING BOARD AND THAT NO NOTICE OF APPEAL WAS RECEIVED FOR THE NEXT TWENTY DAYS FOLLOWING SUCH NOTICE AND RECORDING AT THIS OFFICE.

DATE: _____ CLERK, TOWN OF AVON

APPROVAL OF THESE PLANS IS GRANTED SUBJECT TO A COVENANT WITH THE TOWN OF AVON PLANNING BOARD.

DATE: _____ TO BE RECORDED HEREWITH

APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED

CHAIRMAN: _____

TOWN OF AVON PLANNING BOARD

DATE: _____

FOR REGISTRY USE ONLY

ZONING DISTRICT: RESIDENCE-SUBURBAN B ("RES R-40")

MINIMUM LOT SIZE: 40,000 S.F.
 MINIMUM LOT AREA PER DWELLING UNIT: 40,000 S.F.
 MINIMUM LOT FRONTAGE: 200'
 MINIMUM LOT WIDTH: N/A
 MINIMUM LOT DEPTH: N/A
 MINIMUM LOT SETBACKS: FRONT YARD = 35'
 SIDE YARD = 20'
 REAR YARD = 40'
 MAXIMUM BUILDING HEIGHT: 35'
 MAXIMUM LOT COVERAGE BY STRUCTURE: 35%
 PARKING REQUIREMENTS: 2 SPACES PER DWELLING UNIT

F.E.M.A. FLOOD HAZARD INFORMATION:
 F.I.R.M. MAP COMMUNITY #: 250231
 PANEL #: 0381
 SUFFIX: E
 MAP #: 25021C0381E
 EFFECTIVE DATE: JULY 17, 2012
 ZONE: X

OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23
 OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23
 OWNER ON RECORD: TERRY L. & KATHERINE EDWARDS (PLOT 21) (LOT 9) # 10 PARKVIEW LN. AVON, MA. 02322

DEED REFERENCE: BOOK: 38946 PAGE: 54
 OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23
 OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23
 OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST (LOTS 5B & 6B) # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23
 PLAN REFERENCES: PLAN BOOK: 403 PLAN #: 781 OF 1991
 PLAN BOOK: 471 PLAN #: 34 OF 2000
 PLAN BOOK: 493 PLAN #: 95 OF 2002
 PLAN BOOK: 542 PAGE: 13 OF 2005

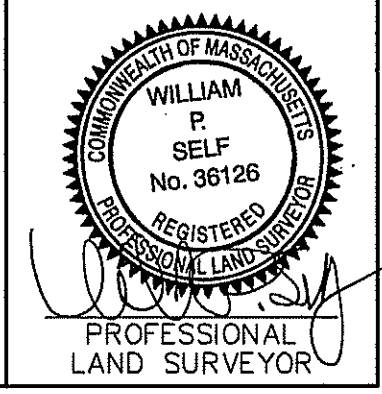
SHEET INDEX

- SHEET: 1 "TITLE SHEET"
- SHEET: 2 "PROPOSED LOTTING"
- SHEET: 3 "GRADING & DRAINAGE"
- SHEET: 4 "ROADWAY PLAN AND PROFILE"
- SHEET: 5 "TYPICAL CONSTRUCTION DETAILS"

NOTE:
 - SEE APPROVED SUBDIVISION "PARKVIEW ESTATES" RECORDED PLAN BOOK: 493 PAGE: 95 OF 2002 (BRIARWOOD CONSTRUCTION CORP.)
 - SEE APPROVED SUBDIVISION "PARKVIEW ESTATES II" RECORDED PLAN BOOK: 542 PAGE: 13 OF 2005 (TERRY L. EDWARDS)

NOTE:
 THIS PLAN IS A RE-SUBDIVISION OF LOTS 5B, 6B, 8, 9, 10, 11 AND 12 AS SHOWN ON DEFINITIVE PLAN OF "PARKVIEW ESTATES II" RECORDED PLAN BOOK: 542 PAGE: 13 OF 2005 COMBINING ALL LOTS AS SHOWN INTO LOT "8A".

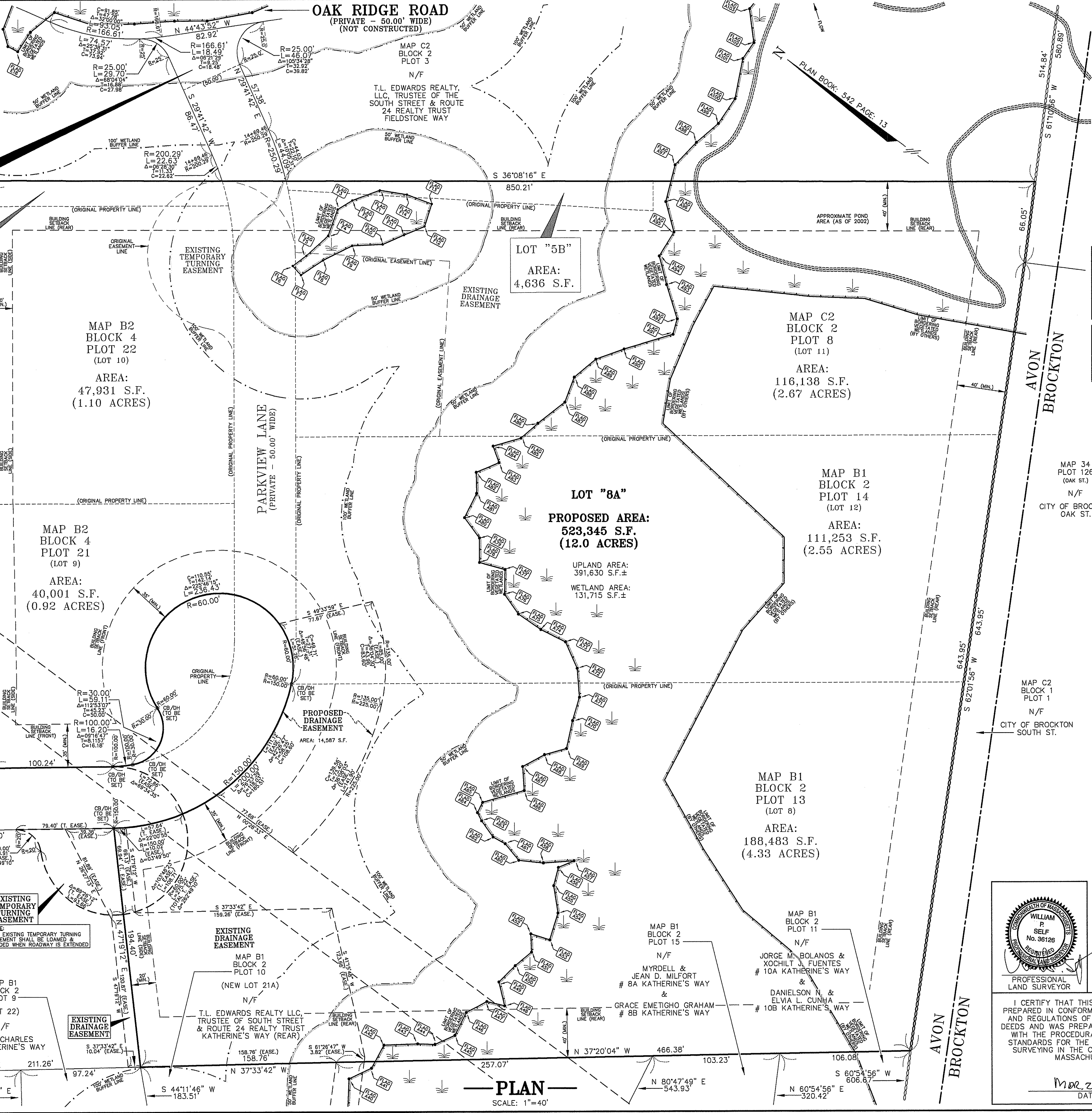
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS AND WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



Wm P, 2013
DATE

"DEFINITIVE SUBDIVISION"
 "TITLE SHEET"
 PLAN OF LAND IN AVON, MA.
 PARKVIEW LANE - AVON, MA.
 PREPARED FOR: T.L. EDWARDS # 100 WALES AVE. AVON, MA. 02322
 DATE: MAR. 20, 2023 SCALE: 1"=100'
 CURLEY & HANSEN SURVEYORS
 160 Pond St. Avon, Ma. (508) 580-2117
 AL-946 (SHEET 1 OF 5)

LEGEND:
 BUILDING SETBACK LINE
 CONCRETE MONUMENT WITH DRILL HOLE (TO BE SET)
 BORDERING VEGETATED WETLAND
 100' WETLAND BUFFER LINE
 50' WETLAND BUFFER LINE
 WETLAND DELINEATION PERFORMED BY:
 ENVIRONMENTAL CONSULTING & RESTORATION LLC
 BRAD HOLMES, PROFESSIONAL WETLAND SCIENTIST (#1464)
 DATE DELINEATED: NOVEMBER 2018 / MARCH 2023



I, THE TOWN CLERK FOR AVON, MA., HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THESE PLANS WAS RECEIVED FROM THE PLANNING BOARD AND THAT NO NOTICE OF APPEAL WAS RECEIVED FOR THE NEXT TWENTY DAYS FOLLOWING SUCH NOTICE AND RECORDING AT THIS OFFICE.

DATE: _____ CLERK, TOWN OF AVON

APPROVAL OF THESE PLANS IS GRANTED SUBJECT TO A COVENANT WITH THE TOWN OF AVON PLANNING BOARD.

DATE: _____ TO BE RECORDED HEREWITH

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED

CHAIRMAN: _____

TOWN OF AVON PLANNING BOARD

DATE: _____

ZONING DISTRICT: RESIDENCE-SUBURBAN B ("RES R-40")

MINIMUM LOT SIZE: 40,000 S.F.
 MINIMUM LOT AREA PER DWELLING UNIT: 40,000 S.F.
 MINIMUM LOT FRONTAGE: 200'
 MINIMUM LOT WIDTH: N/A
 MINIMUM LOT DEPTH: N/A
 MINIMUM LOT SETBACKS: FRONT YARD = 35'
 SIDE YARD = 20'
 REAR YARD = 40'

MAXIMUM BUILDING HEIGHT: 35'
 MAXIMUM LOT COVERAGE BY STRUCTURE: 35%

PARKING REQUIREMENTS: 2 SPACES PER DWELLING UNIT

ASSESSORS MAP: B1 BLOCK: 2 PLOT: 13
 ASSESSORS MAP: B1 BLOCK: 2 PLOT: 14
 ASSESSORS MAP: B2 BLOCK: 4 PLOT: 21
 ASSESSORS MAP: B2 BLOCK: 4 PLOT: 22
 ASSESSORS MAP: C2 BLOCK: 2 PLOT: 8

F.E.M.A. FLOOD HAZARD INFORMATION:
 F.I.R.M. MAP COMMUNITY #: 250231
 PANEL #: 0381
 SUFFIX: E
 MAP #: 25021C0381E
 EFFECTIVE DATE: JULY 17, 2012
 ZONE: X

OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23

OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23

OWNER ON RECORD: TERRY L. & KATHERINE EDWARDS (PLOT 21) (LOT 9) # 10 PARKVIEW LN. AVON, MA. 02322

DEED REFERENCE: BOOK: 38946 PAGE: 54

OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23

OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23

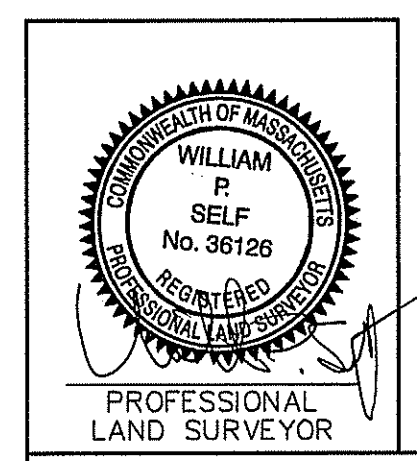
OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23

OWNER ON RECORD: T.L. EDWARDS REALTY LLC, TRUSTEE OF THE SOUTH STREET & ROUTE 24 REALTY TRUST # 80 SOUTH STREET # 80 SOUTH STREET AVON, MA. 02322

DEED REFERENCE: BOOK: 19426 PAGE: 23

PLAN REFERENCES: PLAN BOOK: 403 PLAN #: 781 OF 1991
 PLAN BOOK: 471 PLAN #: 34 OF 2000
 PLAN BOOK: 493 PLAN #: 95 OF 2002
 PLAN BOOK: 542 PAGE: 13 OF 2005



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS AND WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

WILLIAM P. SELF
 No. 96128
 PROFESSIONAL LAND SURVEYOR

DATE: MAR 24 2023

"DEFINITIVE SUBDIVISION"

"PROPOSED LOTTING"

PLAN OF LAND IN AVON, MA.

PARKVIEW LANE - AVON, MA.

PREPARED FOR: T.L. EDWARDS
 # 100 WALES AVE.
 AVON, MA. 02322

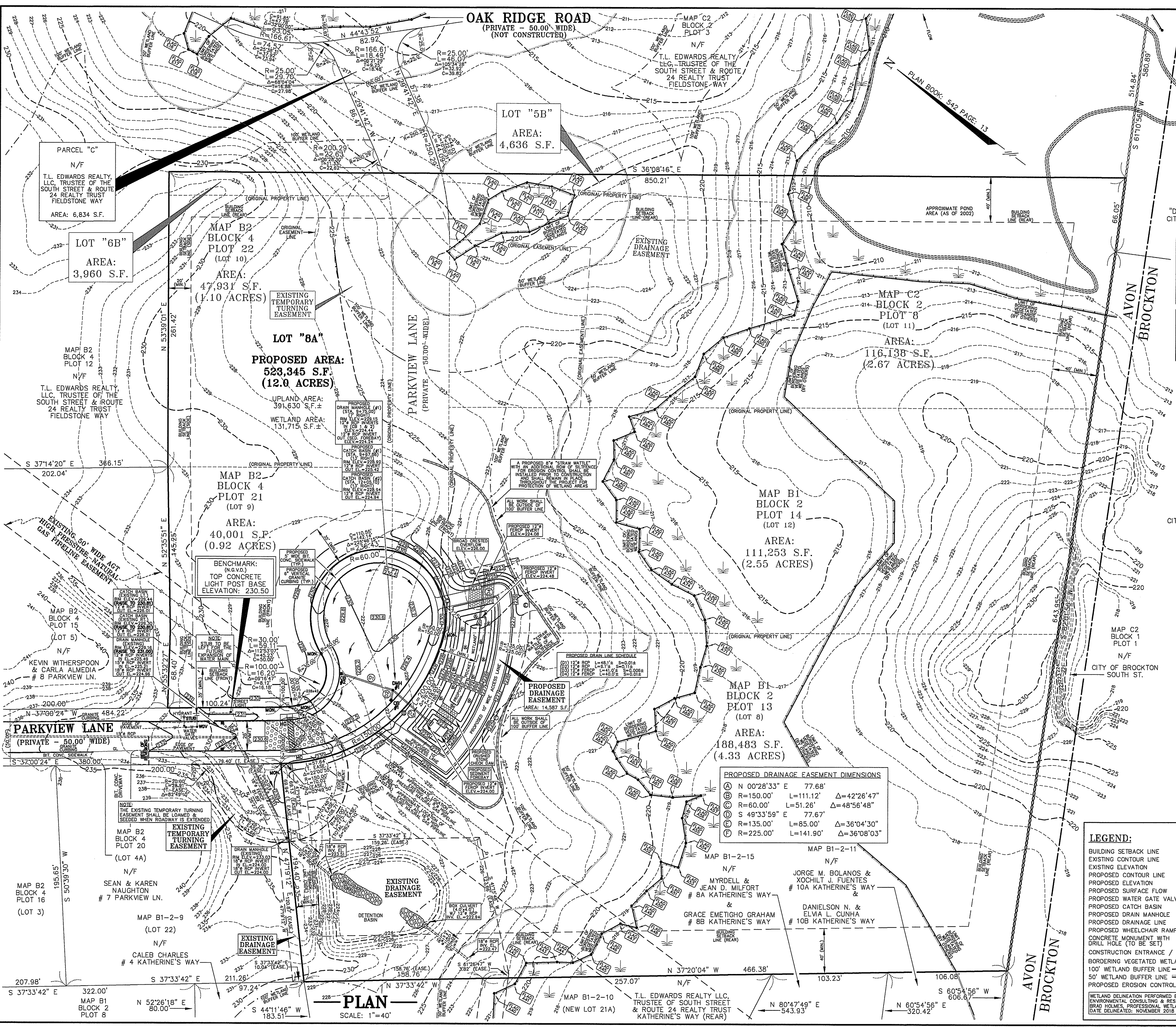
DATE: MAR. 20, 2023

SCALE: 1"=40'

CURLEY & HANSEN SURVEYORS
 160 Pond St. Avon, Ma.
 (508) 580-2117

AL-946
 (SHEET 2 OF 5)

PLAN
 SCALE: 1"=40'



I, THE TOWN CLERK FOR AVON, MA., HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THESE PLANS WAS RECEIVED FROM THE PLANNING BOARD AND THAT NO NOTICE OF APPEAL WAS RECEIVED FOR THE NEXT TWENTY DAYS FOLLOWING SUCH NOTICE AND RECORDING AT THIS OFFICE.

DATE: _____ CLERK, TOWN OF AVON

APPROVAL OF THESE PLANS IS GRANTED SUBJECT TO A COVENANT WITH THE TOWN OF AVON PLANNING BOARD.

DATE: _____ TO BE RECORDED HEREWITH

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED

CHAIRMAN: _____

TOWN OF AVON PLANNING BOARD

DATE: _____

NOTE:

SEE APPROVED SUBDIVISION "PARKVIEW ESTATES" RECORDED PLAN BOOK: 493 PAGE: 95 OF 2002 (BRIARWOOD CONSTRUCTION CORP.)

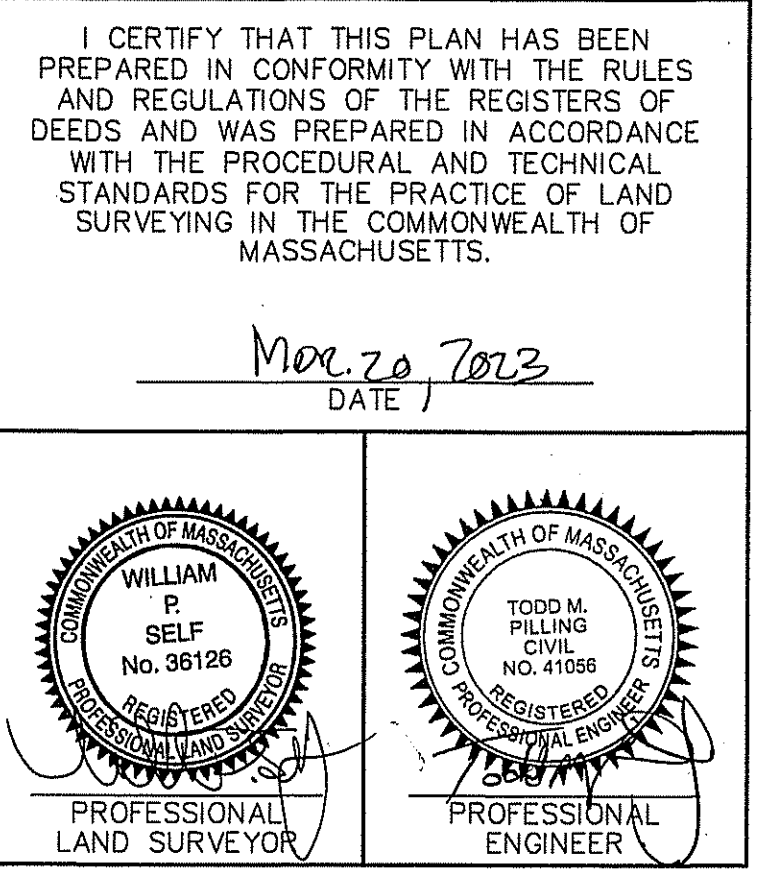
SEE APPROVED SUBDIVISION "PARKVIEW ESTATES II" RECORDED PLAN BOOK: 542 PAGE: 13 OF 2005 (TERRY L. EDWARDS)

NOTE:

THIS PLAN IS A RE-SUBDIVISION OF LOTS 5B, 6B, 8, 9, 10, 11 AND 12 AS SHOWN ON DEFINITIVE PLAN OF "PARKVIEW ESTATES II" RECORDED PLAN BOOK: 542 PAGE: 13 OF 2005 COMBINING ALL LOTS AS SHOWN INTO LOT "8A".

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS AND WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

Mar 20 2023
DATE



MAP 34
PLOT 126
(OAK ST.)
N/F
CITY OF BROCKTON
OAK ST.

ZONING DISTRICT: RESIDENCE-SUBURBAN B ("RES R-40")

MINIMUM LOT SIZE: 40,000 S.F.
MINIMUM LOT AREA PER DWELLING UNIT: 40,000 S.F.
MINIMUM LOT FRONTAGE: 200'
MINIMUM LOT WIDTH: N/A

MINIMUM LOT SETBACKS: FRONT YARD = 35'
SIDE YARD = 20'
REAR YARD = 40'

MAXIMUM BUILDING HEIGHT: 35'
MAXIMUM LOT COVERAGE BY STRUCTURE: 35%

PARKING REQUIREMENTS: 2 SPACES PER DWELLING UNIT

ASSESSORS MAP: B1 BLOCK: 2 PLOT: 13
ASSESSORS MAP: B1 BLOCK: 2 PLOT: 14
ASSESSORS MAP: B2 BLOCK: 4 PLOT: 21
ASSESSORS MAP: B2 BLOCK: 4 PLOT: 22
ASSESSORS MAP: C2 BLOCK: 2 PLOT: 8

F.I.R.M. MAP COMMUNITY #: 250231
PANEL #: 0381
SUFFIX: E
MAP #: 25021C0381E
EFFECTIVE DATE: JULY 17, 2012
ZONE: X

"DEFINITIVE SUBDIVISION"

"PROPOSED GRADING & DRAINAGE"

PLAN OF LAND IN AVON, MA.

PARKVIEW LANE - AVON, MA.

PREPARED FOR: T.L. EDWARDS
100 WALES AVE.
AVON, MA. 02322

DATE: MAR. 20, 2023 SCALE: 1"=40'

CURLEY & HANSEN SURVEYORS
160 Pond St. Avon, Ma.
(508) 580-2117

AL-946
(SHEET 3 OF 5)

PROPOSED DRAINAGE EASEMENT DIMENSIONS

A	N 00°28'33" E	77.68'	Δ=42°26'47"
B	R=150.00'	L=111.12'	Δ=48°56'48"
C	R=60.00'	L=51.26'	Δ=77.67'
D	S 49°33'59" E	77.67'	Δ=36°04'30"
E	R=135.00'	L=85.00'	Δ=36°08'03"
F	R=225.00'	L=141.90'	

LEGEND:

- BUILDING SETBACK LINE
- EXISTING CONTOUR LINE
- EXISTING ELEVATION
- PROPOSED CONTOUR LINE
- PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED WATER GATE VALVE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED DRAINAGE LINE
- PROPOSED WHEELCHAIR RAMP
- CONCRETE MONUMENT WITH DRILL HOLE (TO BE SET)
- CONSTRUCTION ENTRANCE / EXIT PAD
- BORDERING VEGETATED WETLAND
- 100' WETLAND BUFFER LINE
- 50' WETLAND BUFFER LINE
- PROPOSED EROSION CONTROL

WETLAND DELINEATION PERFORMED BY: ENVIRONMENTAL CONSULTING & RESTORATION LLC (BRAD HOLMES, PROFESSIONAL WETLAND SCIENTIST (#1464)) DATE DELINEATED: NOVEMBER 2018 ; MARCH 2023

LEGEND:

- BUILDING SETBACK LINE
- EXISTING CONTOUR LINE
- EXISTING ELEVATION
- PROPOSED CONTOUR LINE
- PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED WATER GATE VALVE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED DRAINAGE LINE
- PROPOSED WHEELCHAIR RAMP
- CONCRETE MONUMENT WITH DRILL HOLE (TO BE SET)
- CONSTRUCTION ENTRANCE / EXIT PAD
- BORDERING VEGETATED WETLAND
- 100' WETLAND BUFFER LINE
- 50' WETLAND BUFFER LINE
- PROPOSED EROSION CONTROL

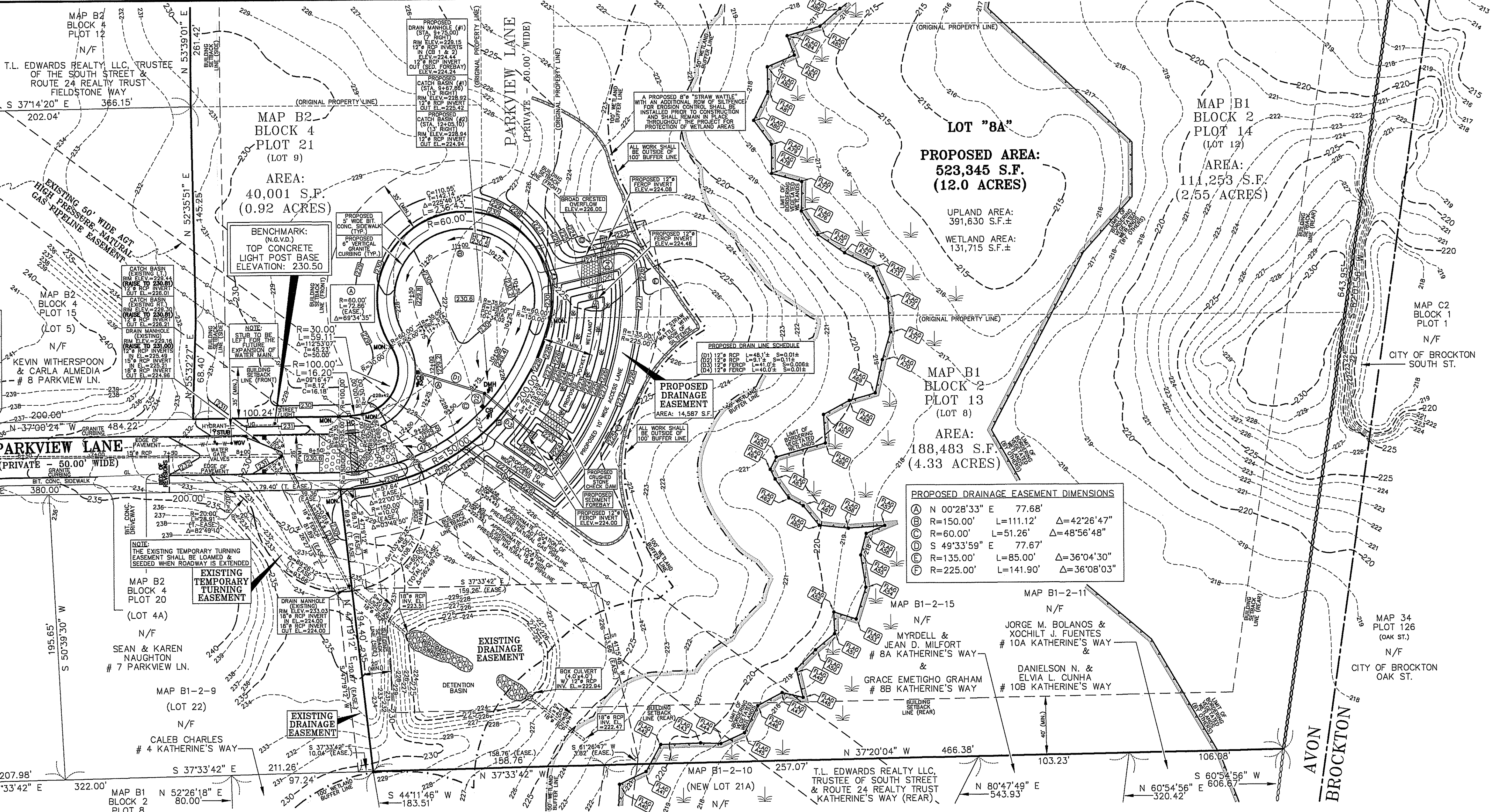
WETLAND DELINEATION PERFORMED BY: ENVIRONMENTAL CONSULTING & RESTORATION LLC BRAD HOLMES, PROFESSIONAL WETLAND SCIENTIST (#1464) DATE DELINEATED: NOVEMBER 2018 / MARCH 2022

PLAN BOOK: 542 PAGE: 13

PROPOSED CENTERLINE INFORMATION

Station	Radius (R)	Length (L)	Delta (Δ)
5+50.00	55.00'	111.12'	42°26'47"
5+60.00	35.00'	70.00'	28°45'15"
5+75.00	112.00'	224.00'	76°53'35"
6+00.00	112.00'	224.00'	76°53'35"
6+15.00	112.00'	224.00'	76°53'35"
6+25.00	112.00'	224.00'	76°53'35"
6+35.00	112.00'	224.00'	76°53'35"
6+45.00	112.00'	224.00'	76°53'35"
6+50.00	112.00'	224.00'	76°53'35"
6+55.00	112.00'	224.00'	76°53'35"
6+60.00	112.00'	224.00'	76°53'35"
6+75.00	112.00'	224.00'	76°53'35"
7+00.00	112.00'	224.00'	76°53'35"
7+15.00	112.00'	224.00'	76°53'35"
7+25.00	112.00'	224.00'	76°53'35"
7+35.00	112.00'	224.00'	76°53'35"
7+45.00	112.00'	224.00'	76°53'35"
7+50.00	112.00'	224.00'	76°53'35"
7+55.00	112.00'	224.00'	76°53'35"
7+60.00	112.00'	224.00'	76°53'35"
7+75.00	112.00'	224.00'	76°53'35"
8+00.00	112.00'	224.00'	76°53'35"
8+15.00	112.00'	224.00'	76°53'35"
8+25.00	112.00'	224.00'	76°53'35"
8+35.00	112.00'	224.00'	76°53'35"
8+45.00	112.00'	224.00'	76°53'35"
8+50.00	112.00'	224.00'	76°53'35"
8+55.00	112.00'	224.00'	76°53'35"
8+60.00	112.00'	224.00'	76°53'35"
8+75.00	112.00'	224.00'	76°53'35"
9+00.00	112.00'	224.00'	76°53'35"
9+15.00	112.00'	224.00'	76°53'35"
9+25.00	112.00'	224.00'	76°53'35"
9+35.00	112.00'	224.00'	76°53'35"
9+45.00	112.00'	224.00'	76°53'35"
9+50.00	112.00'	224.00'	76°53'35"
9+55.00	112.00'	224.00'	76°53'35"
9+60.00	112.00'	224.00'	76°53'35"
9+75.00	112.00'	224.00'	76°53'35"
10+00.00	112.00'	224.00'	76°53'35"
10+15.00	112.00'	224.00'	76°53'35"
10+25.00	112.00'	224.00'	76°53'35"
10+35.00	112.00'	224.00'	76°53'35"
10+45.00	112.00'	224.00'	76°53'35"
10+50.00	112.00'	224.00'	76°53'35"
10+55.00	112.00'	224.00'	76°53'35"
10+60.00	112.00'	224.00'	76°53'35"
10+75.00	112.00'	224.00'	76°53'35"
11+00.00	112.00'	224.00'	76°53'35"
11+15.00	112.00'	224.00'	76°53'35"
11+25.00	112.00'	224.00'	76°53'35"
11+35.00	112.00'	224.00'	76°53'35"
11+45.00	112.00'	224.00'	76°53'35"
11+50.00	112.00'	224.00'	76°53'35"
11+55.00	112.00'	224.00'	76°53'35"
11+60.00	112.00'	224.00'	76°53'35"
11+75.00	112.00'	224.00'	76°53'35"
12+00.00	112.00'	224.00'	76°53'35"
12+15.00	112.00'	224.00'	76°53'35"
12+25.00	112.00'	224.00'	76°53'35"
12+35.00	112.00'	224.00'	76°53'35"
12+45.00	112.00'	224.00'	76°53'35"
12+50.00	112.00'	224.00'	76°53'35"
12+55.00	112.00'	224.00'	76°53'35"
12+60.00	112.00'	224.00'	76°53'35"
12+75.00	112.00'	224.00'	76°53'35"
13+00.00	112.00'	224.00'	76°53'35"

PLAN
SCALE: 1"=40'



LOT "8A"
PROPOSED AREA:
523,345 S.F.
(12.0 ACRES)

UPLAND AREA:
391,630 S.F.±
WETLAND AREA:
131,715 S.F.±

**MAP B1
BLOCK 2
PLOT 13
(LOT 8)**
AREA:
188,483 S.F.
(4.33 ACRES)

PROPOSED DRAINAGE EASEMENT DIMENSIONS

- A N 00°28'33" E 77.68'
- B R=150.00' L=111.12' Δ=42°26'47"
- C R=60.00' L=51.26' Δ=48°56'48"
- D S 49°33'59" E 77.67'
- E R=135.00' L=85.00' Δ=36°04'30"
- F R=225.00' L=141.90' Δ=36°08'03"

NOTE:
THE EXISTING TEMPORARY TURNING EASEMENT SHALL BE LOADED & REEDED WHEN ROADWAY IS EXTENDED

EXISTING TEMPORARY TURNING EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING DRAINAGE EASEMENT

PROFILE

VERTICAL SCALE: 1"=4'
HORIZONTAL SCALE: 1"=40'

NOTE:

- SEE APPROVED SUBDIVISION "PARKVIEW ESTATES" RECORDED PLAN BOOK: 493 PAGE: 95 OF 2002 (BRIARWOOD CONSTRUCTION CORP.)
- SEE APPROVED SUBDIVISION "PARKVIEW ESTATES II" RECORDED PLAN BOOK: 542 PAGE: 13 OF 2005 (TERRY L. EDWARDS)

ZONING DISTRICT: RESIDENCE-SUBURBAN B ("RES R-40")

MINIMUM LOT SIZE: 40,000 S.F.
MINIMUM LOT AREA PER DWELLING UNIT: 40,000 S.F.
MINIMUM LOT FRONTAGE: 200'
MINIMUM LOT WIDTH: N/A

MINIMUM LOT SETBACKS: FRONT YARD = 35'
SIDE YARD = 20'
REAR YARD = 40'

MAXIMUM BUILDING HEIGHT: 35'
MAXIMUM LOT COVERAGE BY STRUCTURE: 35%

PARKING REQUIREMENTS: 2 SPACES PER DWELLING UNIT

ASSESSORS MAP: B1 BLOCK: 2 PLOT: 13
ASSESSORS MAP: B1 BLOCK: 2 PLOT: 14
ASSESSORS MAP: B2 BLOCK: 4 PLOT: 21
ASSESSORS MAP: B2 BLOCK: 4 PLOT: 22
ASSESSORS MAP: C2 BLOCK: 2 PLOT: 8

F.I.R.M. MAP COMMUNITY #: 250231
PANEL #: 0381
SUFFIX:
MAP #: 25021C0381E
EFFECTIVE DATE: JULY 17, 2012
ZONE: X

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED

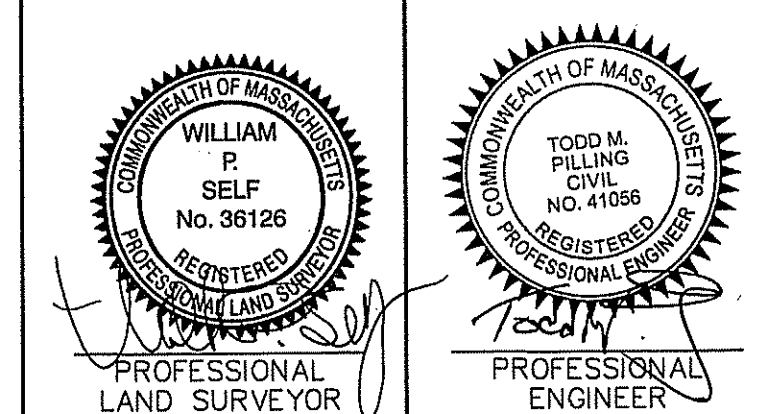
CHAIRMAN: _____

TOWN OF AVON PLANNING BOARD

DATE: _____

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS AND WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

Mar 20, 2023
DATE



I, THE TOWN CLERK FOR AVON, MA., HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THESE PLANS WAS RECEIVED FROM THE PLANNING BOARD AND THAT NO NOTICE OF APPEAL WAS RECEIVED FOR THE NEXT TWENTY DAYS FOLLOWING SUCH NOTICE AND RECORDING AT THIS OFFICE.

DATE: _____ CLERK, TOWN OF AVON

APPROVAL OF THESE PLANS IS GRANTED SUBJECT TO A COVENANT WITH THE TOWN OF AVON PLANNING BOARD.

DATE: _____ TO BE RECORDED HEREWITH

NOTE:
THIS PLAN IS A RE-SUBDIVISION OF LOTS 8B, 8C, 8D, 8E, 8F, 8G, 8H, 8I, 8J, 8K, 8L, 8M, 8N, 8O, 8P, 8Q, 8R, 8S, 8T, 8U, 8V, 8W, 8X, 8Y, 8Z AS SHOWN ON DEFINITIVE PLAN OF "PARKVIEW ESTATES II" RECORDED PLAN BOOK: 542 PAGE: 13 OF 2005 COMBINING ALL LOTS AS SHOWN INTO LOT "8A".

"DEFINITIVE SUBDIVISION"

"PROPOSED ROADWAY PLAN & PROFILE"

PLAN OF LAND IN AVON, MA.

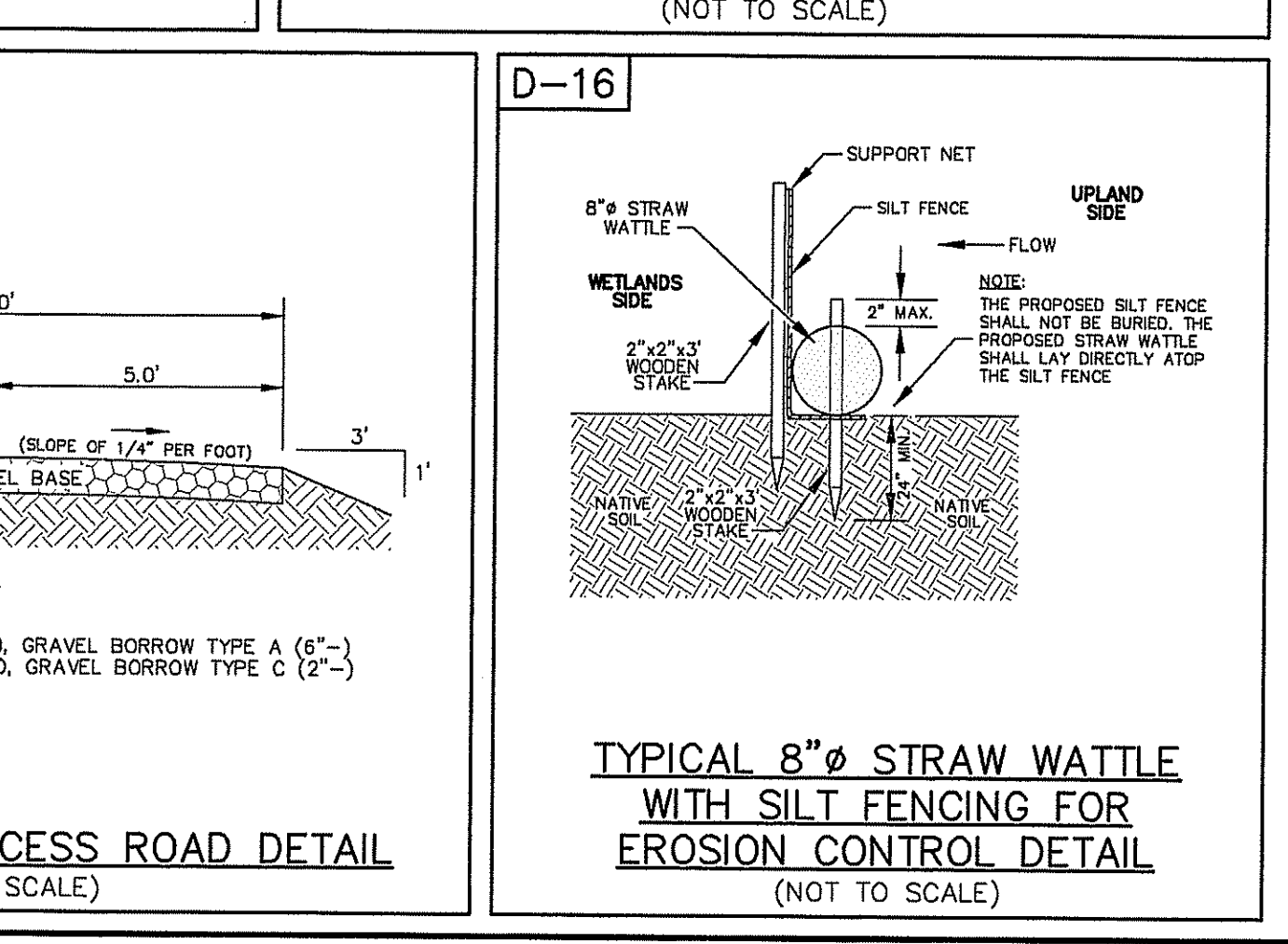
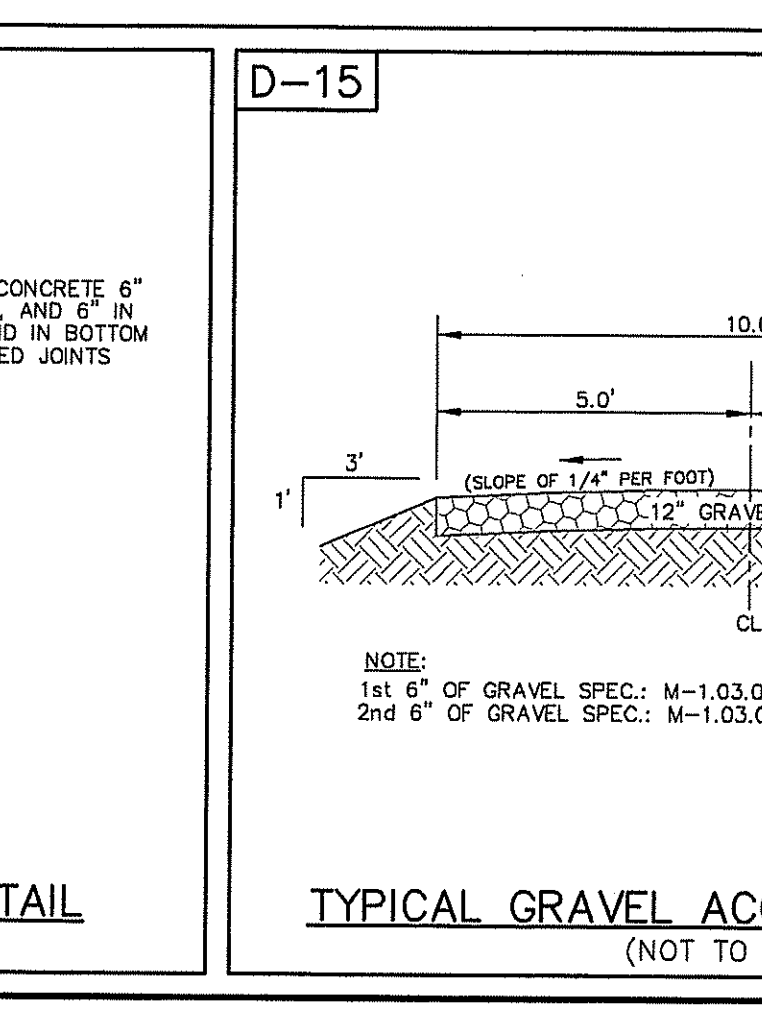
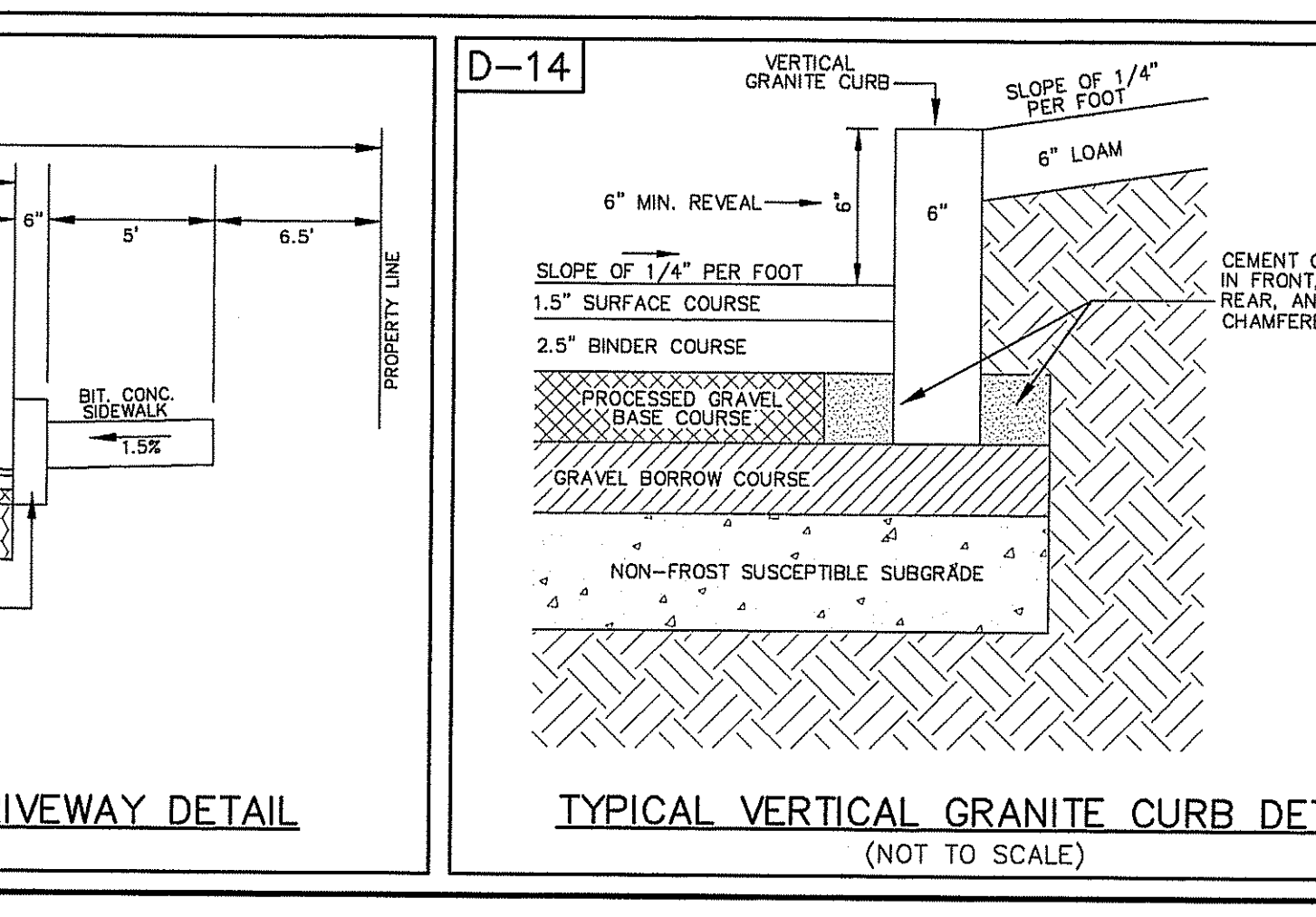
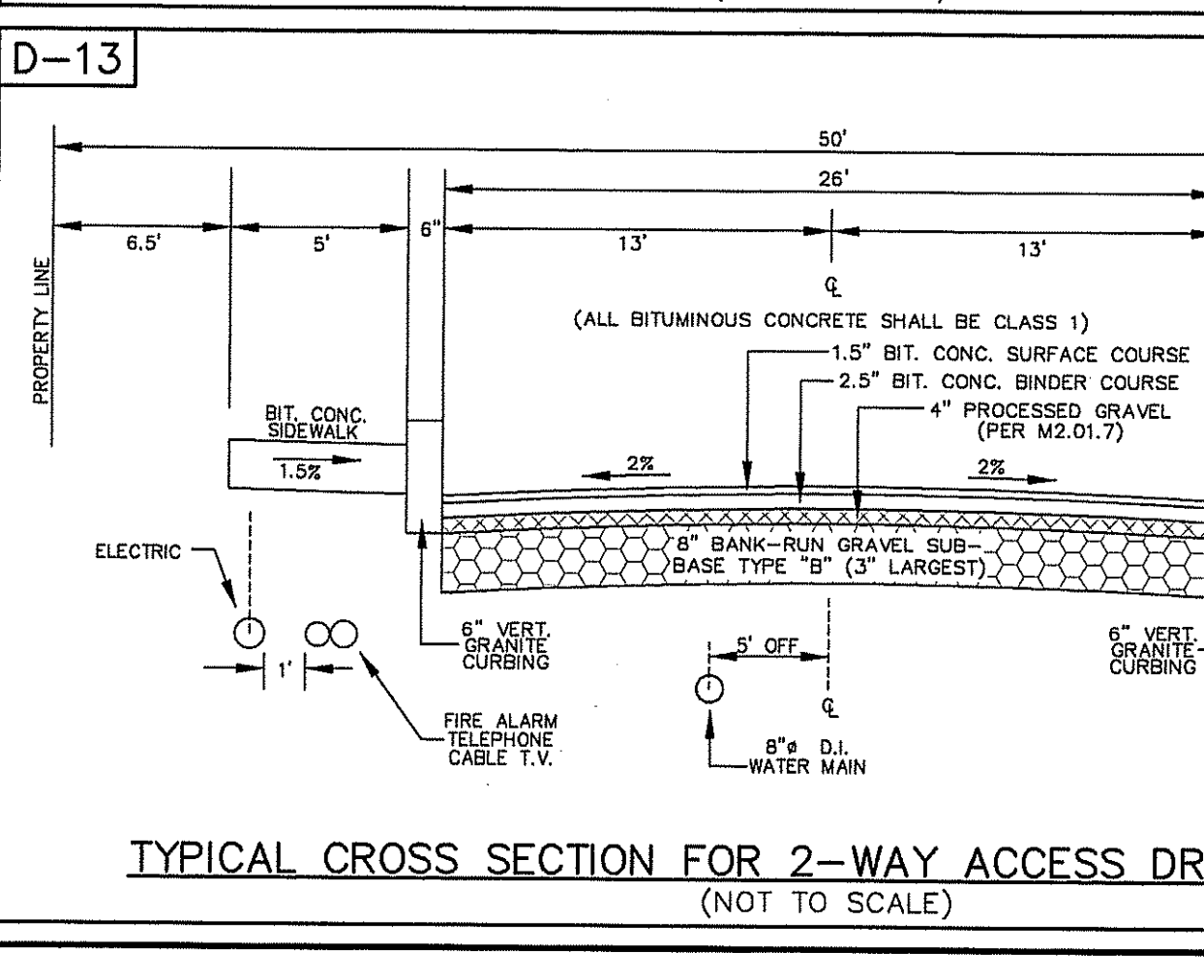
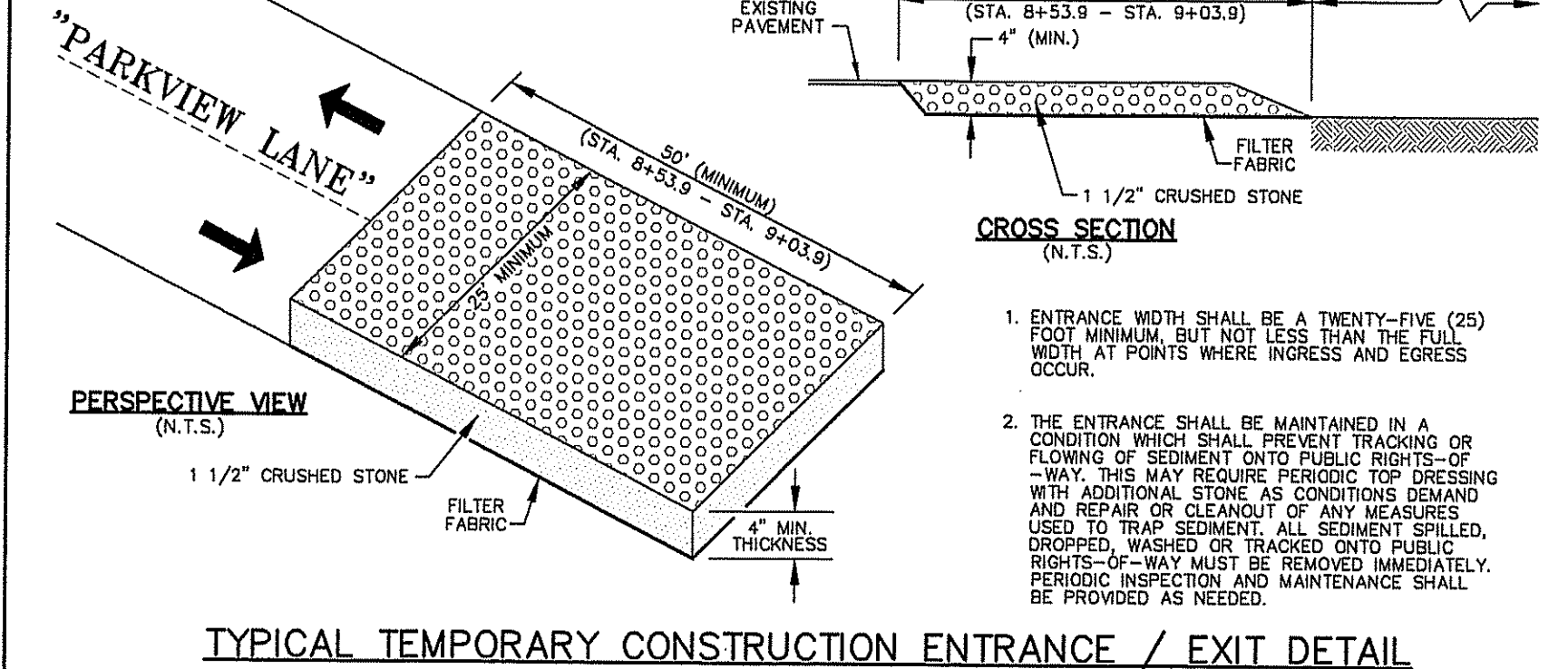
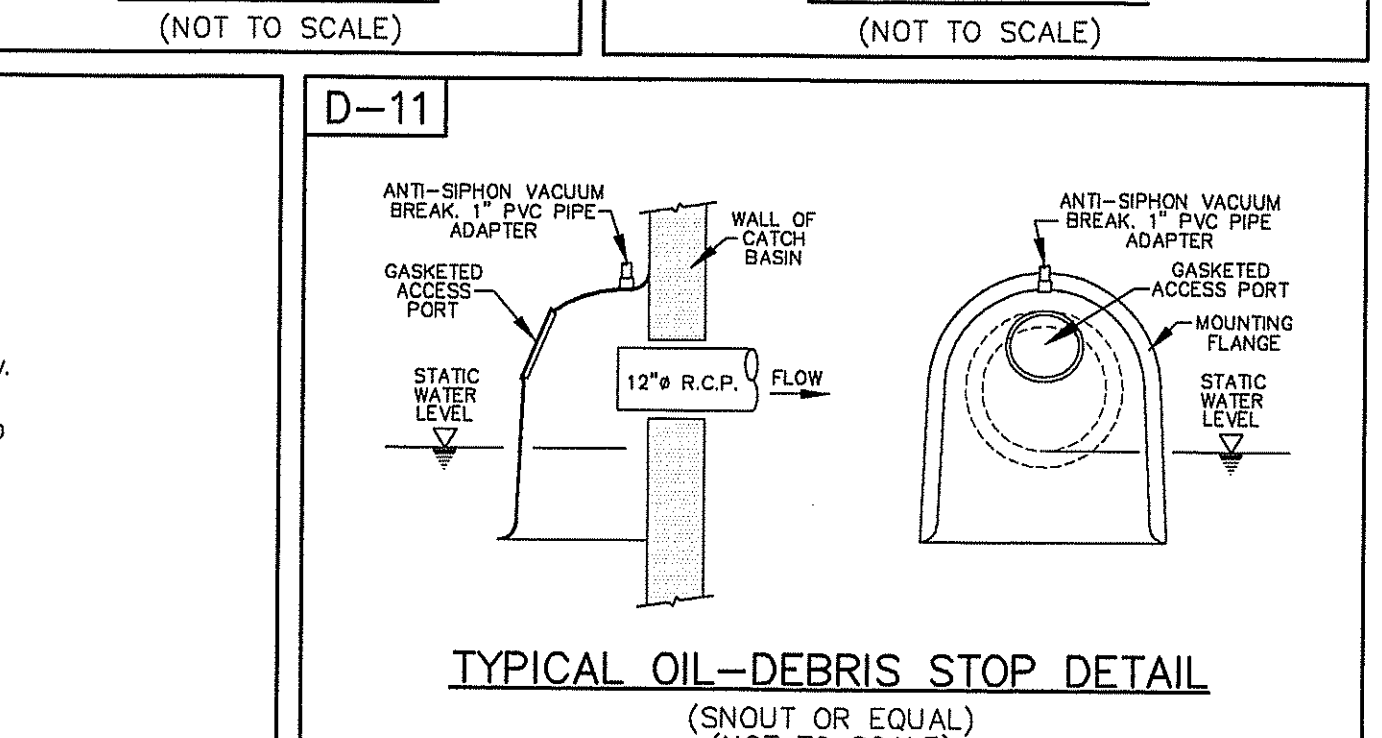
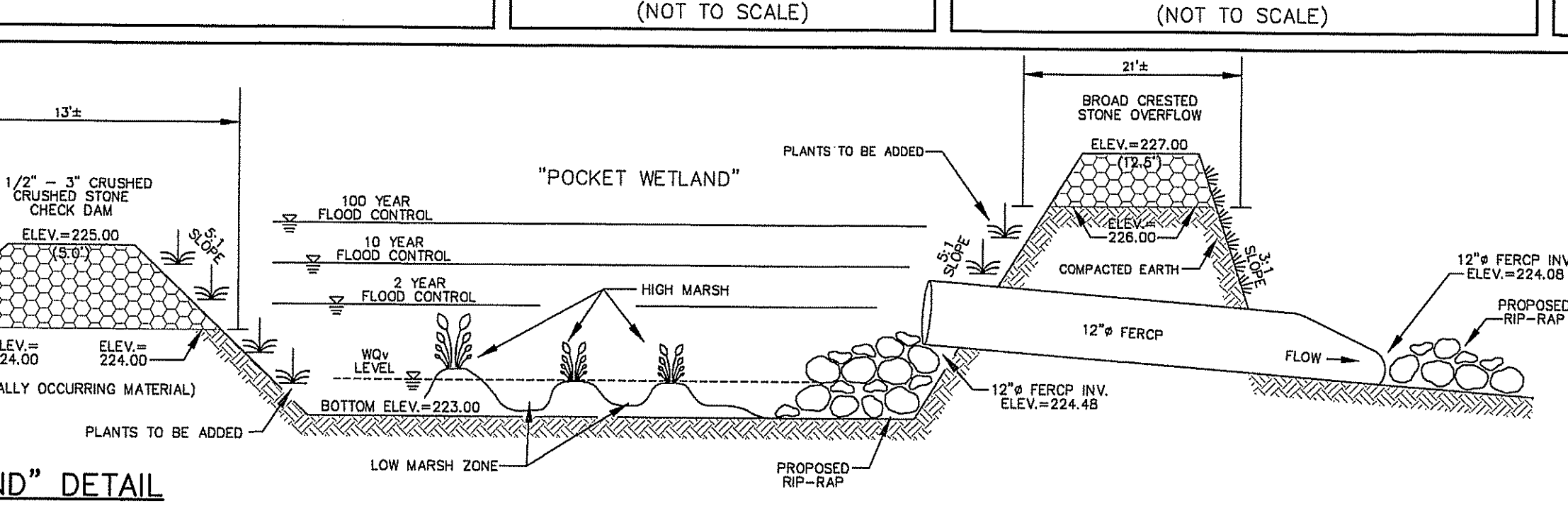
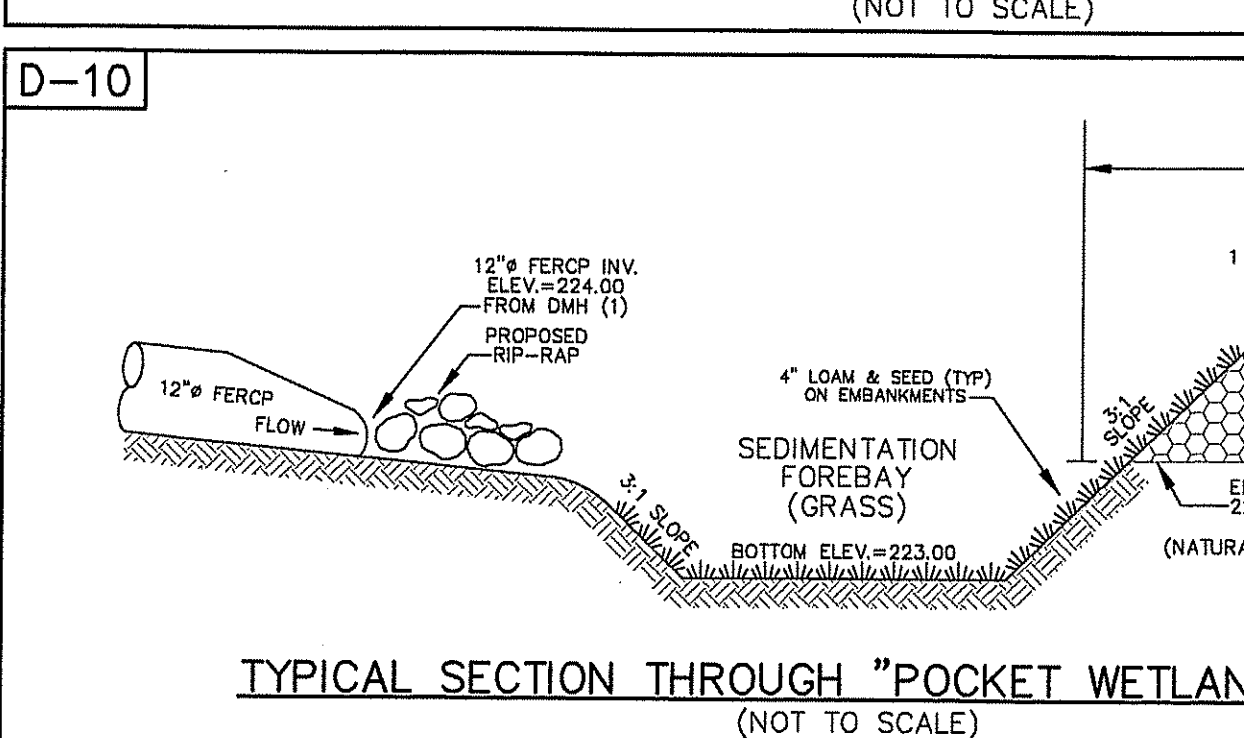
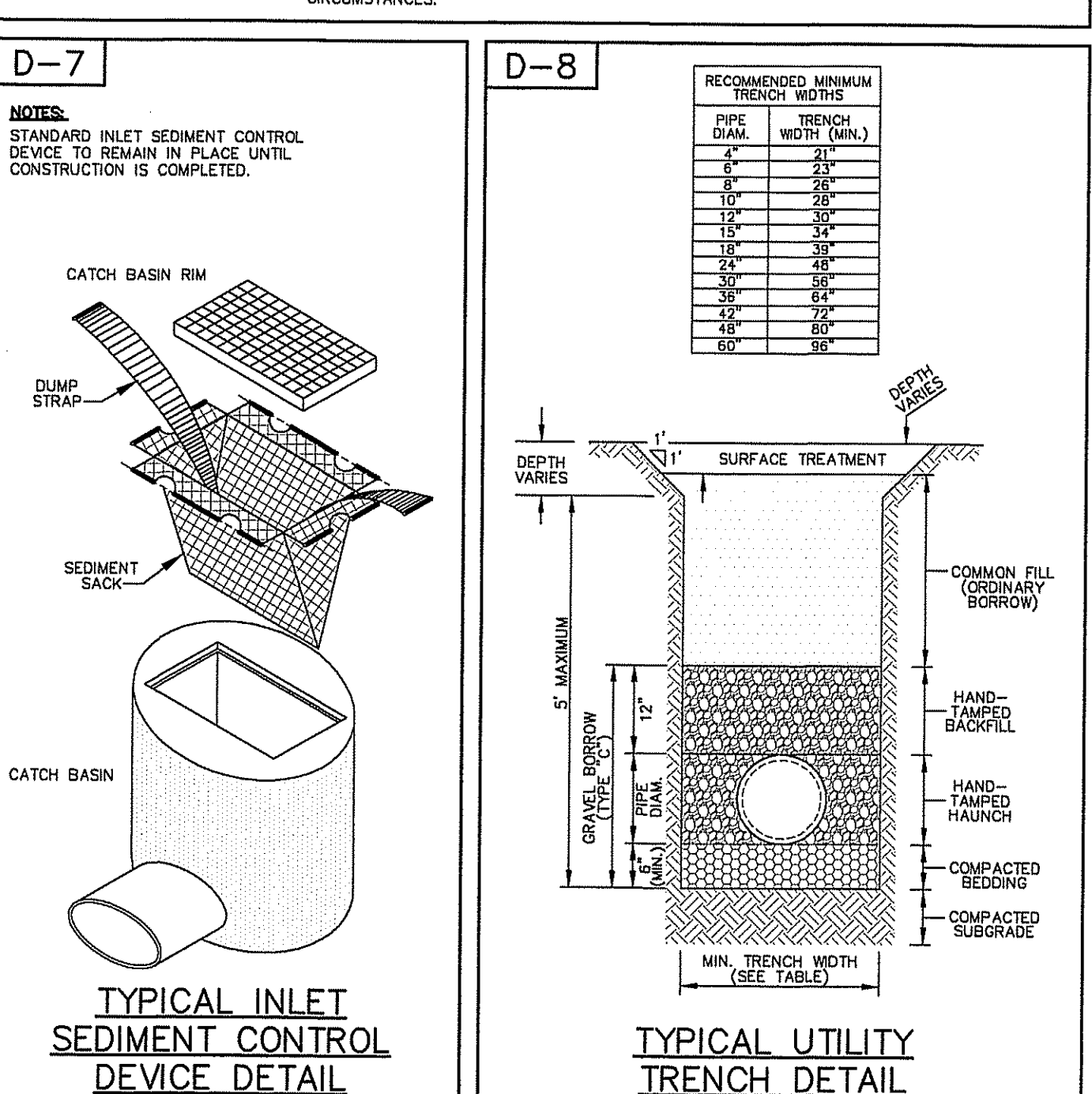
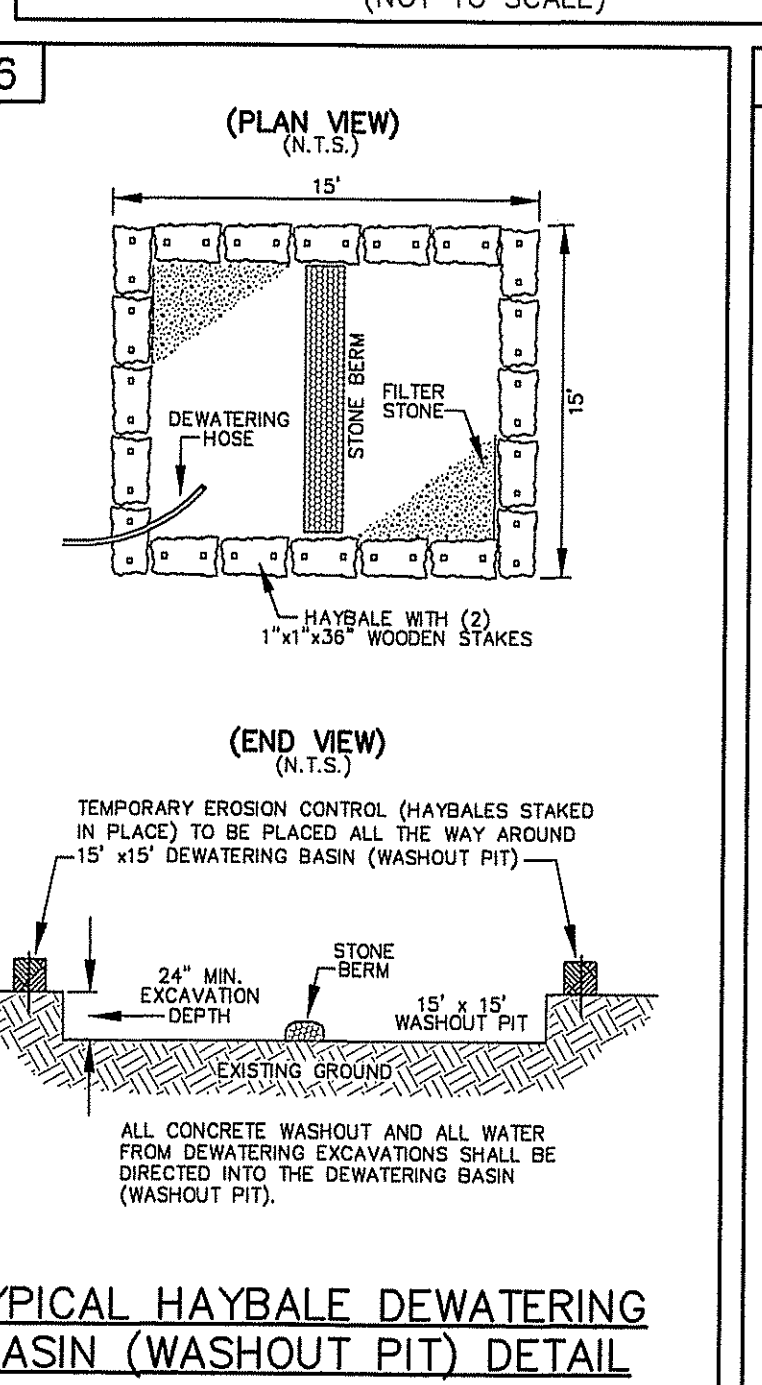
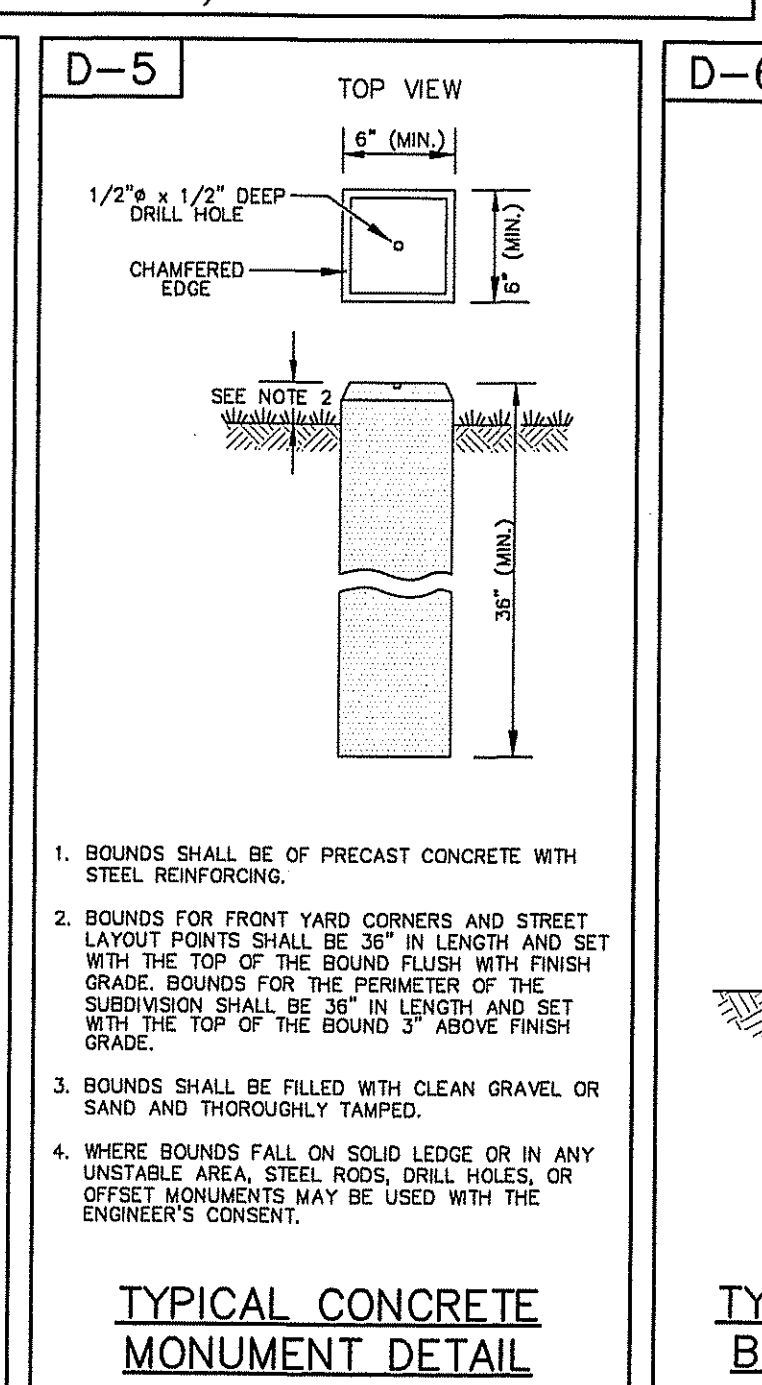
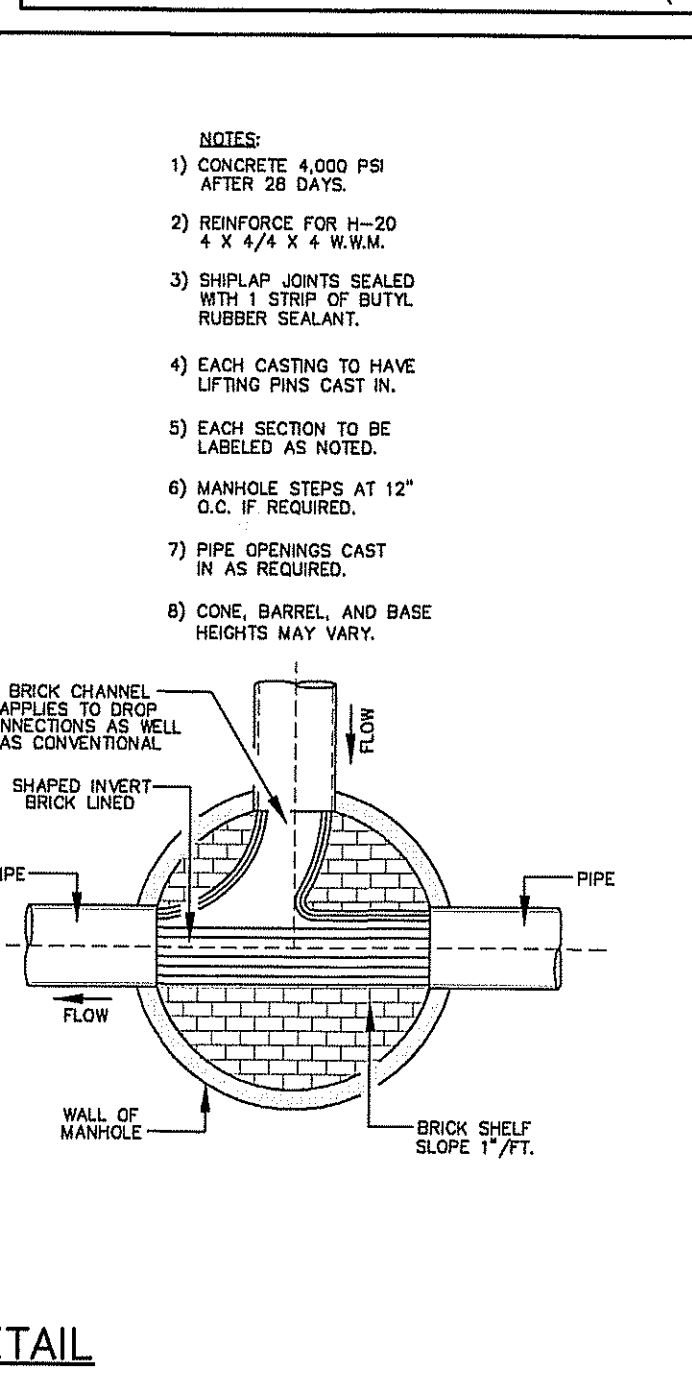
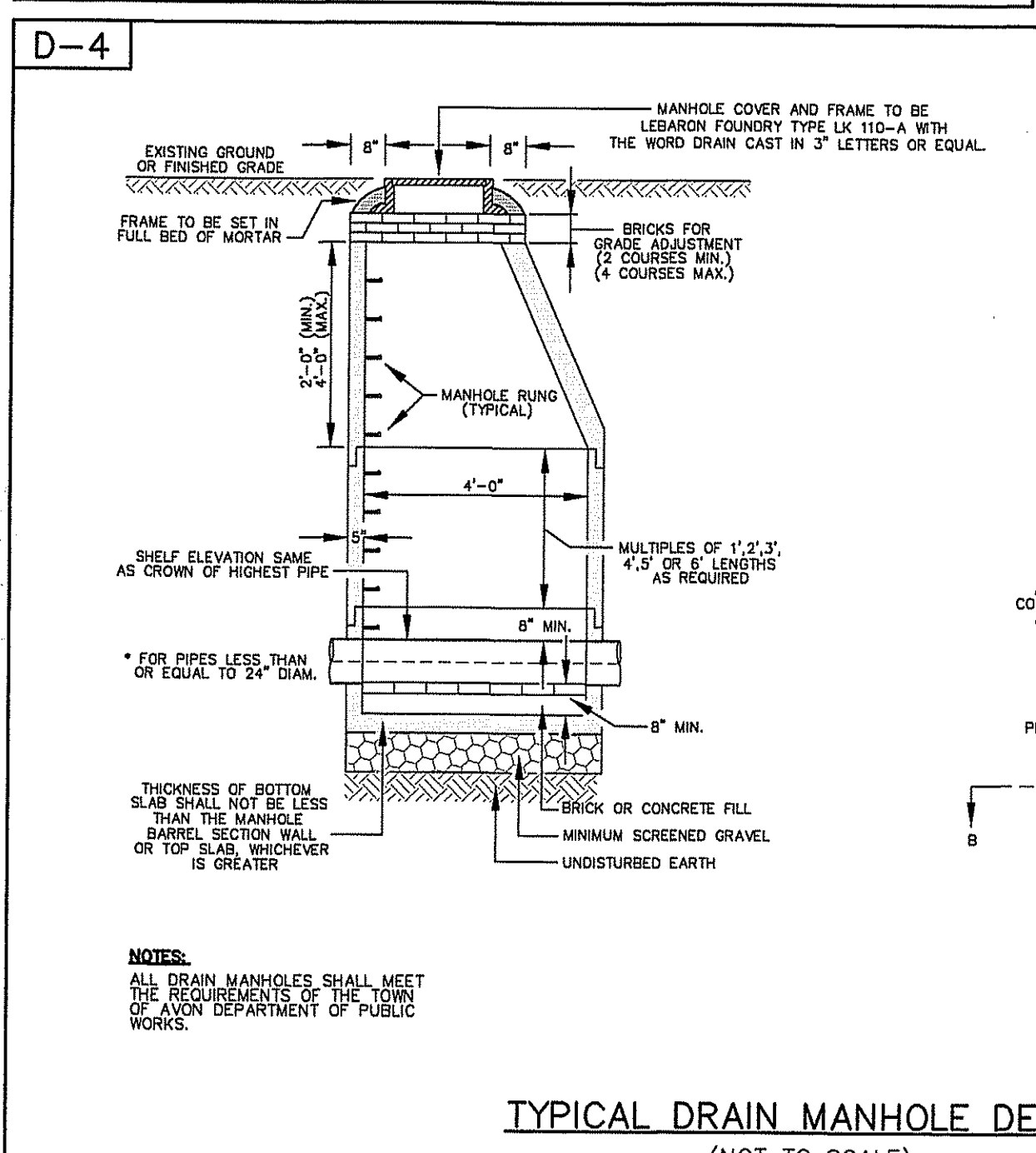
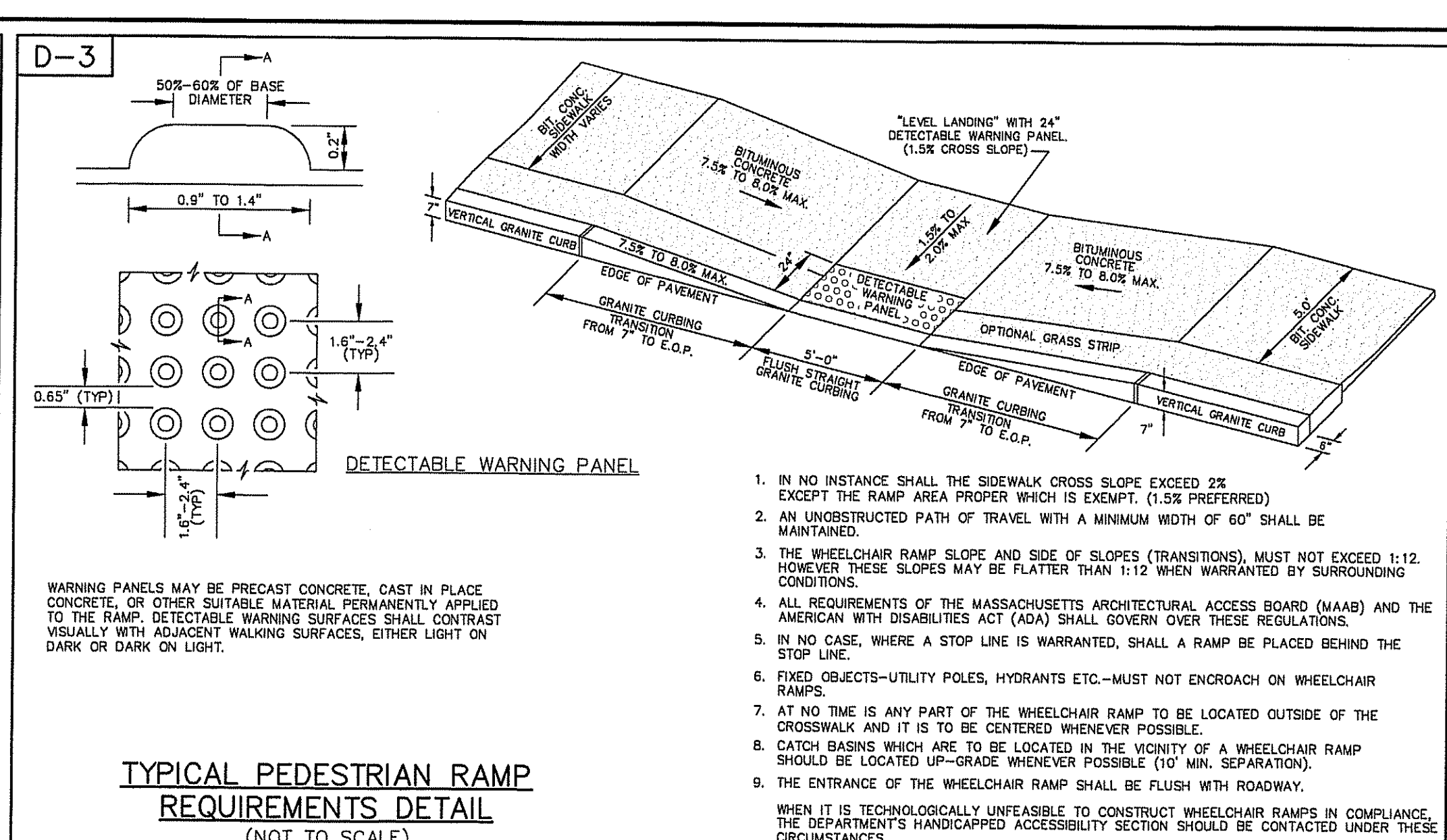
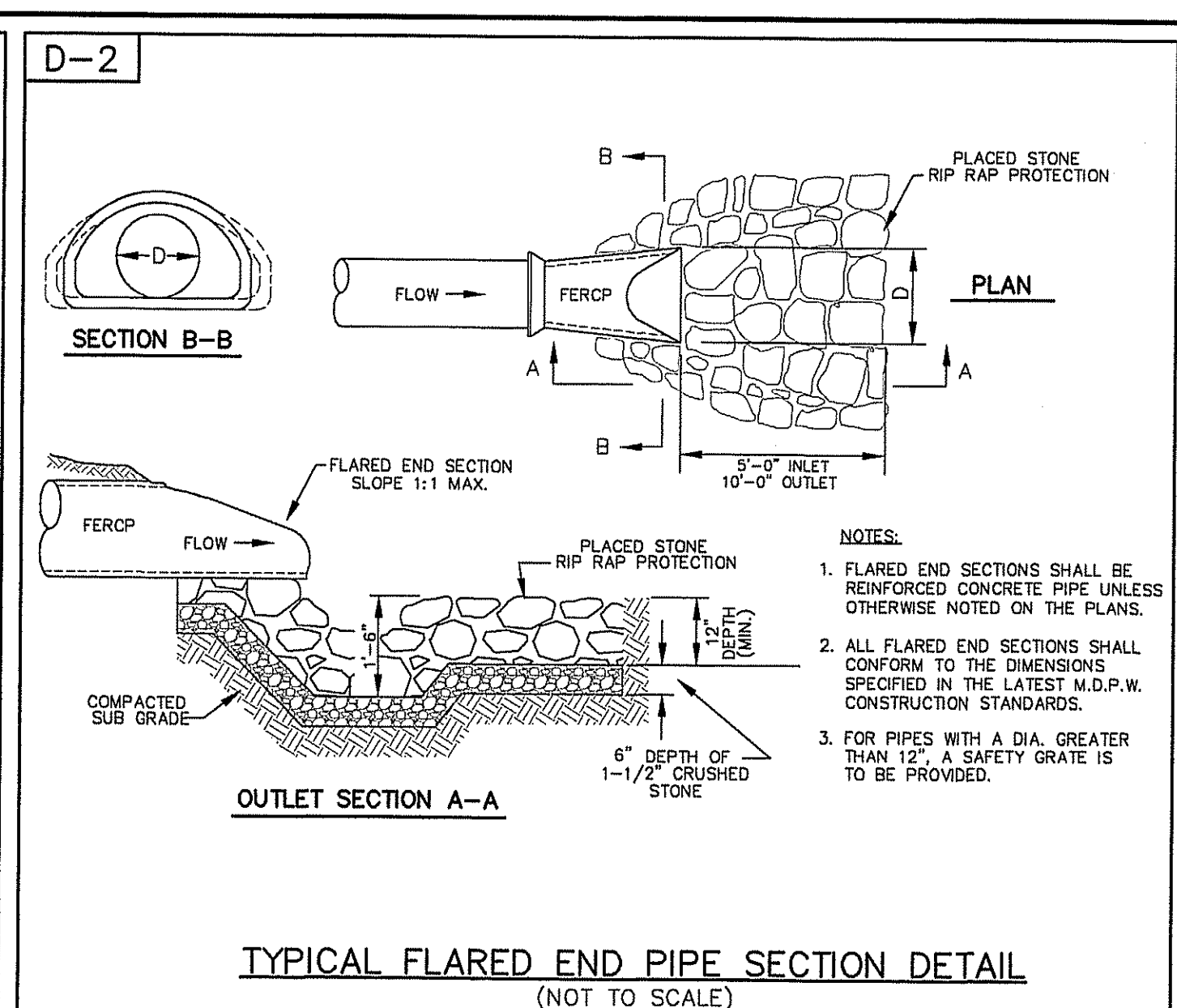
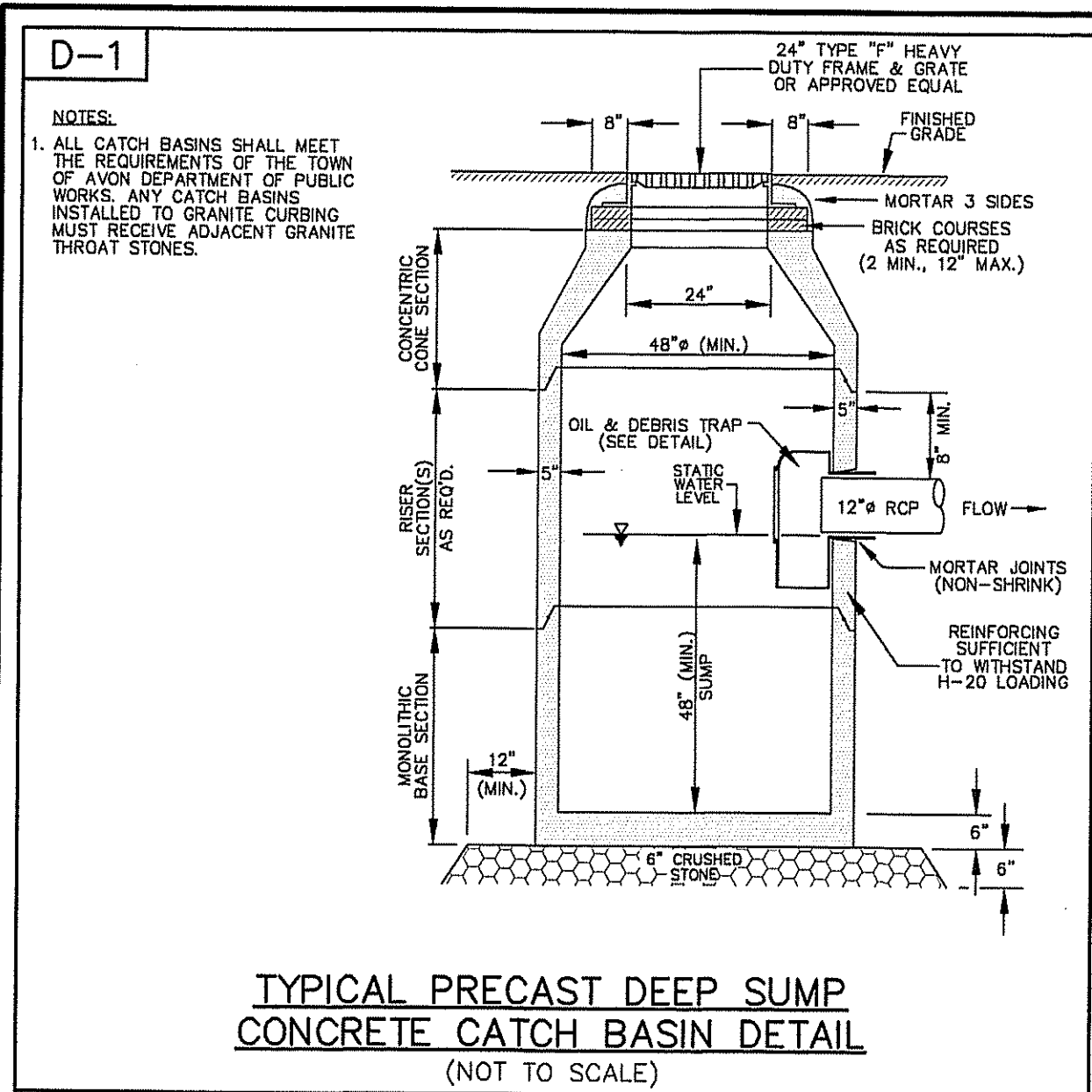
PARKVIEW LANE - AVON, MA.

PREPARED FOR: T.L. EDWARDS
100 WALES AVE.
AVON, MA. 02322

DATE: MAR. 20, 2023 SCALE: 1"=40'

CURLEY & HANSEN SURVEYORS
160 Pond St. Avon, Ma.
(508) 580-2117

AL-946
(SHEET 4 OF 5)



I, THE TOWN CLERK FOR AVON, MA., HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THESE PLANS WAS RECEIVED FROM THE PLANNING BOARD AND THAT NO NOTICE OF APPEAL WAS RECEIVED FOR THE NEXT TWENTY DAYS FOLLOWING SUCH NOTICE AND RECORDING AT THIS OFFICE.

DATE: _____ CLERK, TOWN OF AVON

APPROVAL OF THESE PLANS IS GRANTED SUBJECT TO A COVENANT WITH THE TOWN OF AVON PLANNING BOARD.

DATE: _____ TO BE RECORDED HEREWITH

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS AND WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

DATE: Mar 20, 2023

WILLIAM P. SELF
No. 36128
REGISTERED PROFESSIONAL LAND SURVEYOR

TODD M. PILLING
No. 4785
REGISTERED PROFESSIONAL ENGINEER

TOWN OF AVON PLANNING BOARD

DATE: _____

"DEFINITIVE SUBDIVISION"

"TYPICAL CONSTRUCTION DETAILS"

PLAN OF LAND IN AVON, MA.

PARKVIEW LANE - AVON, MA.

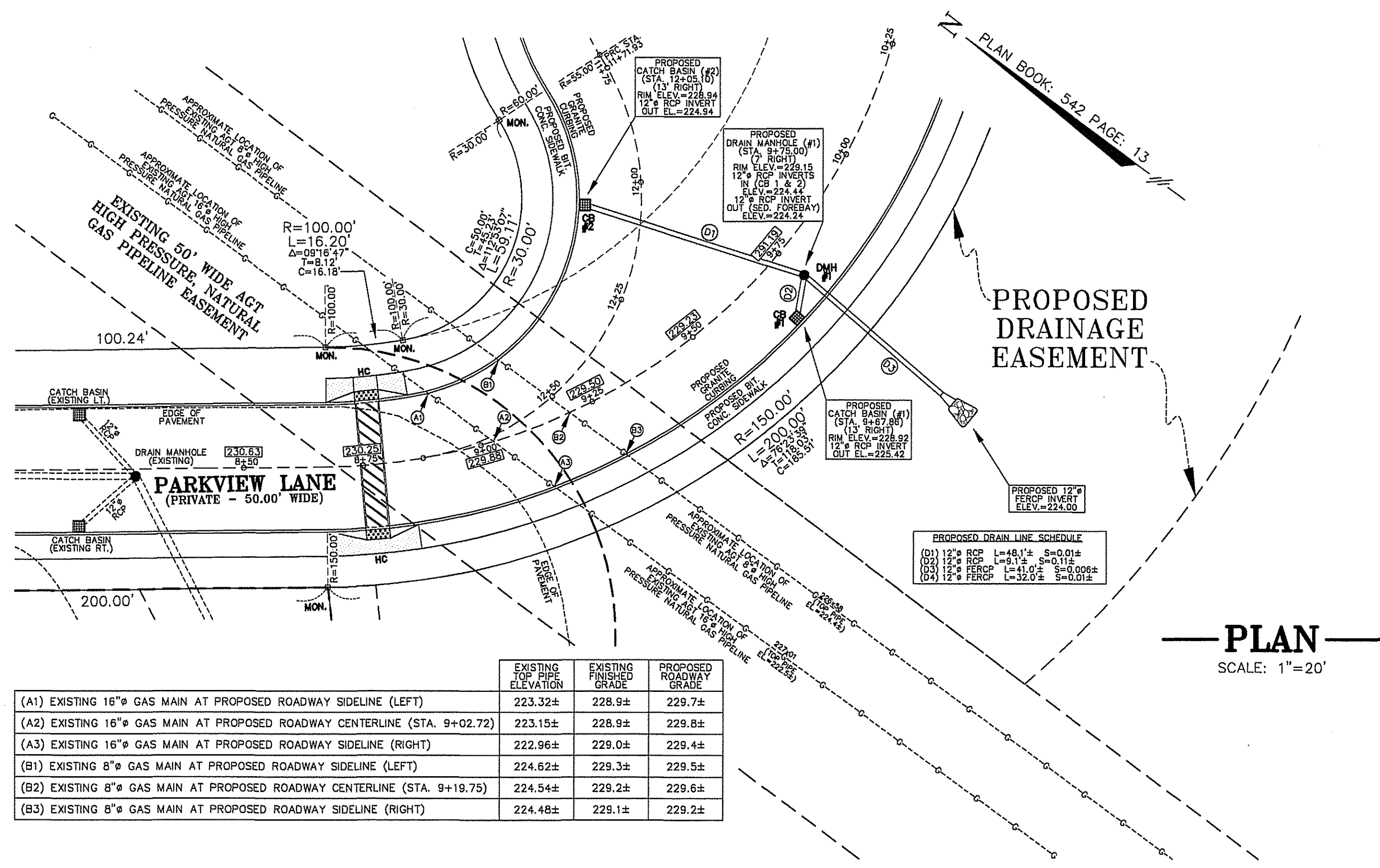
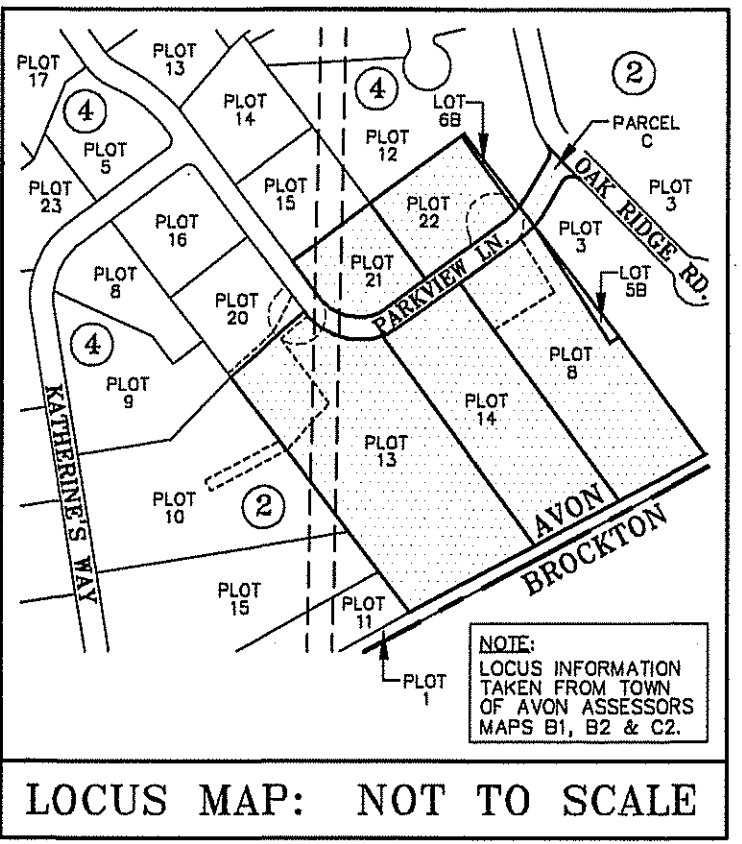
PREPARED FOR: T.L. EDWARDS
100 WALES AVE.
AVON, MA. 02322

DATE: MAR. 20, 2023

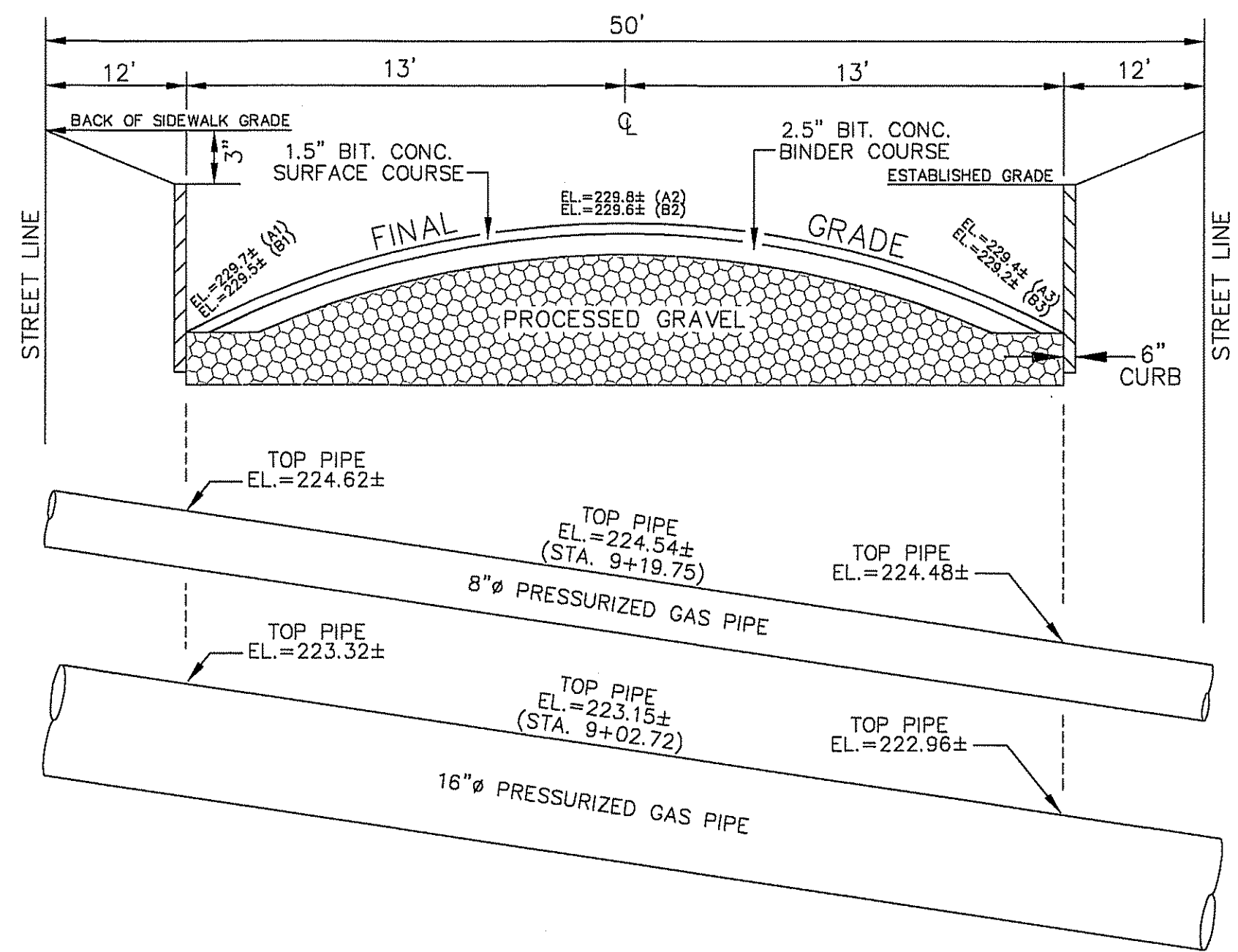
SCALE: 1" = 40'

CURLEY & HANSEN SURVEYORS
160 Pond St. Avon, Ma.
(508) 580-2117

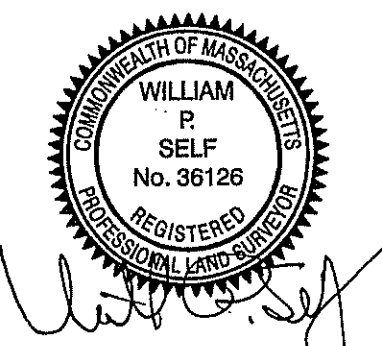
AL-946
(SHEET 5 OF 5)



	EXISTING TOP PIPE ELEVATION	EXISTING FINISHED GRADE	PROPOSED ROADWAY GRADE
(A1) EXISTING 16" GAS MAIN AT PROPOSED ROADWAY SIDELINE (LEFT)	223.32±	228.9±	229.7±
(A2) EXISTING 16" GAS MAIN AT PROPOSED ROADWAY CENTERLINE (STA. 9+02.72)	223.15±	228.9±	229.8±
(A3) EXISTING 16" GAS MAIN AT PROPOSED ROADWAY SIDELINE (RIGHT)	222.96±	229.0±	229.4±
(B1) EXISTING 8" GAS MAIN AT PROPOSED ROADWAY SIDELINE (LEFT)	224.62±	229.3±	229.5±
(B2) EXISTING 8" GAS MAIN AT PROPOSED ROADWAY CENTERLINE (STA. 9+19.75)	224.54±	229.2±	229.6±
(B3) EXISTING 8" GAS MAIN AT PROPOSED ROADWAY SIDELINE (RIGHT)	224.48±	229.1±	229.2±



EXISTING GAS PIPE LOCATIONS IN RELATION TO PARKVIEW LANE CROSS SECTION (PROPOSED) DETAIL (NOT TO SCALE)



"PROPOSED ROADWAY IMPROVEMENTS & GAS MAIN LOCATIONS"
 PLAN OF LAND IN AVON, MA.
 STA. 8+50 - STA. 12+80.29 PARKVIEW LANE
 PREPARED FOR: T.L. EDWARDS
 # 100 WALES AVE.
 AVON, MA. 02322
 DATE: MAR. 20, 2023
 SCALE: 1"=20'
 CURLEY & HANSEN SURVEYORS
 160 Pond St. Avon, Ma.
 (508) 580-2117
 AL-946A