

Definitive Site Plan for 273 East Main Street Avon, Massachusetts

ZONING REQUIREMENTS

Zoning District: Business District (BD)
Assessors' Map: D4-13
Lot: 17

Owner Of Record & Applicant:
Priscilla-Sofia Realty Trust
Norfolk County: Dd, Bk, 34995, Pg, 104
Plan Reference: Plan Book: 501 No. 679, November 2002



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CONSTRUCTION DETAILS PLAN	12 OF 12

NORTHCOUNTY GROUP, INC.
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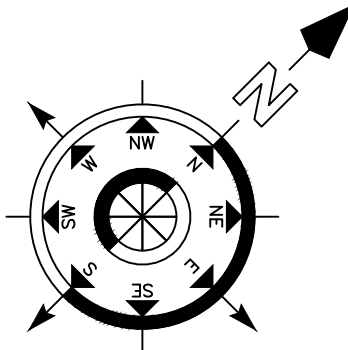
Project: "CONV. STORE & FUEL STATION"
DEFINITIVE SITE PLAN
273 EAST MAIN STREET
AVON, MASS.
CLIENT: Priscilla-Sofia Realty Trust

SCALE: NONE
DATE: 04/08/2020
DRAWN BY: JDD/DJC/RS
JOB NO. 1198-01
SHEET NO.

1 OF 12

REV. NO.	DATE	DESCRIPTION	BY
1	09-01-20	PER PLANNING BOARD COMMENTS	RS

REVISIONS

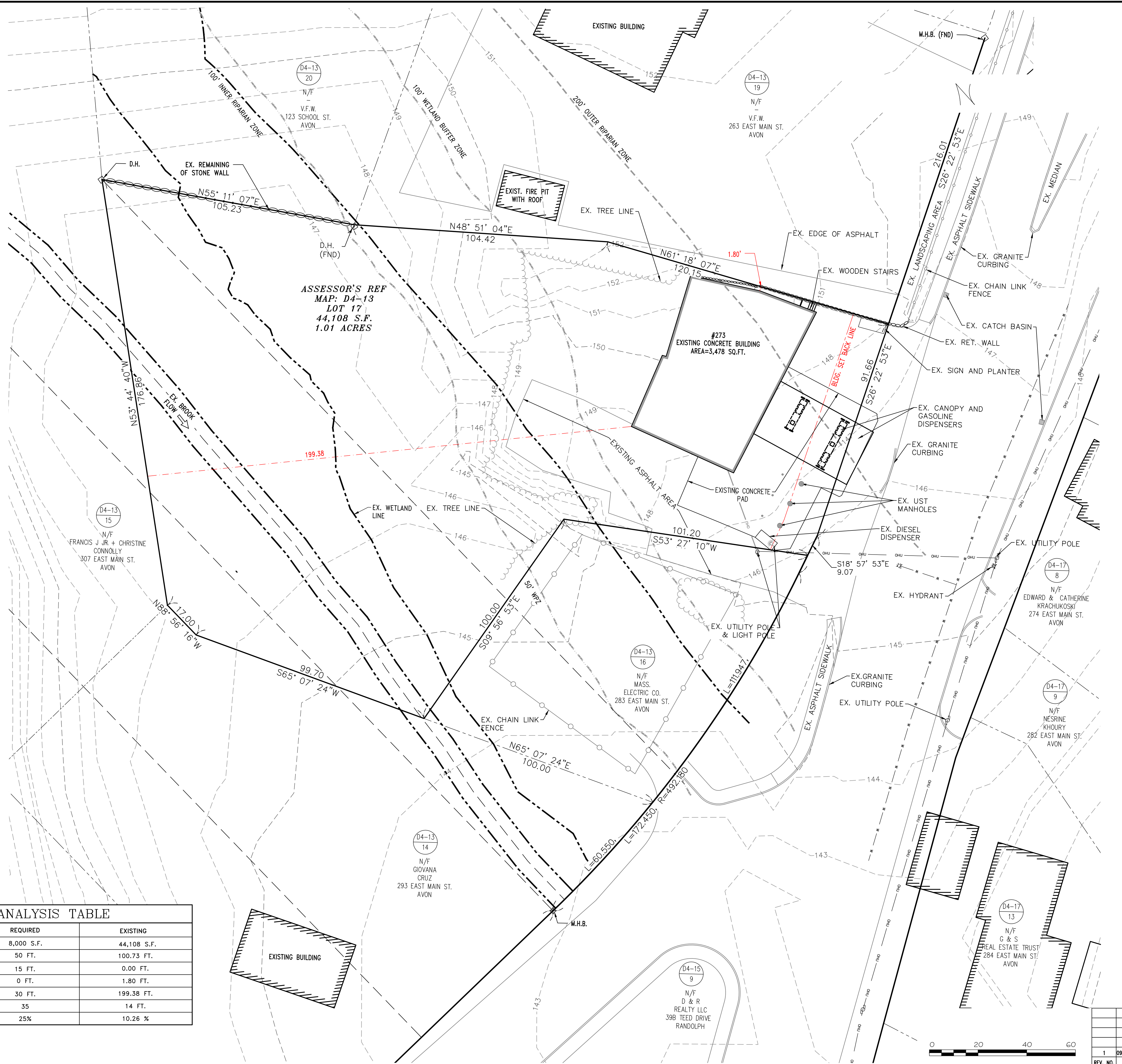


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ZONING REQUIREMENTS

Zone	BD
Minimum Area	8,000 S.F.
Minimum Frontage	50 Ft.
Front Yard Setback	15 Ft.
Side Yard Setback	0 Ft.
Rear Yard Setback	30 Ft.
Maximum Lot Coverage by Structure	25%



ASSESSOR'S REF
 MAP: D4-13
 LOT 17
 44,108 S.F.
 1.01 ACRES

AVON ZONING ANALYSIS TABLE

ZONE REQUIREMENTS - BUSINESS DISTRICT	REQUIRED	EXISTING
MINIMUM LOT AREA	8,000 S.F.	44,108 S.F.
MINIMUM CONTIGUOUS FRONTAGE	50 FT.	100.73 FT.
MINIMUM FRONT YARD SETBACK	15 FT.	0.00 FT.
MINIMUM SIDE YARD SETBACK	0 FT.	1.80 FT.
MINIMUM REAR YARD SETBACK	30 FT.	199.38 FT.
MAXIMUM BUILDING HEIGHT IN FEET	35	14 FT.
Maximum Lot Coverage by Structure BY STRUCTURE (%)	25%	10.26 %

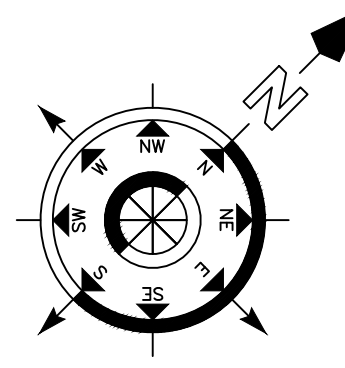
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 EXISTING CONDITIONS PLAN
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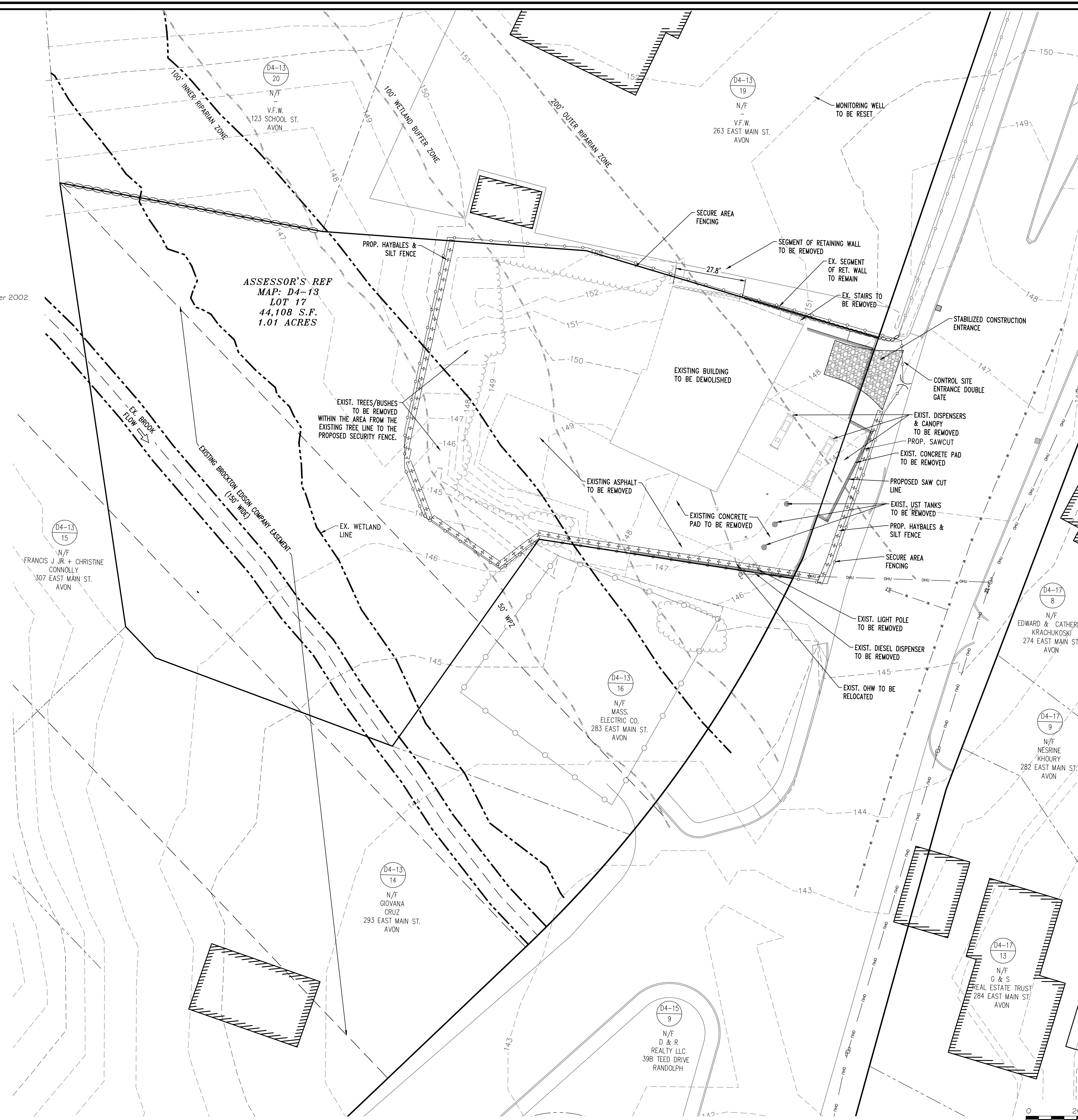
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D4-13 15
 N/F
 FRANCIS J. JR. + CHRISTINE
 CONNOLLY
 307 EAST MAIN ST.
 AVON

D4-13 14
 N/F
 GIOVANA
 CRUZ
 293 EAST MAIN ST.
 AVON

D4-13 16
 N/F
 MASS.
 ELECTRIC CO.
 283 EAST MAIN ST.
 AVON

D4-15 9
 N/F
 D & R
 REALTY LLC
 398 TEED DRIVE
 RANDOLPH

D4-13 19
 N/F
 V.F.W.
 263 EAST MAIN ST.
 AVON

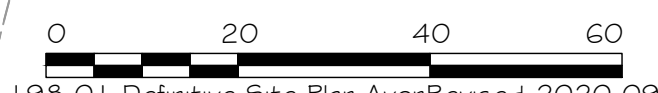
D4-17 8
 N/F
 EDWARD & CATHERINE
 KRACHUKOSKI
 274 EAST MAIN ST.
 AVON

D4-17 9
 N/F
 NESRINE
 KHOURY
 282 EAST MAIN ST.
 AVON

D4-17 13
 N/F
 G & S
 REAL ESTATE TRUST
 284 EAST MAIN ST.
 AVON

DEMOLITION NOTES:

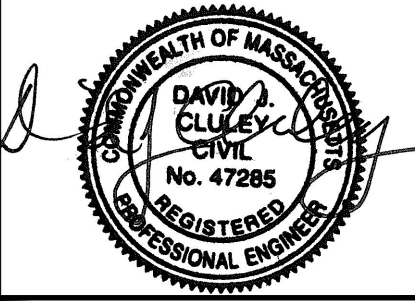
- All demolition activities are to be performed in strict adherence to all federal, state and local regulations.
- Proceed with demolition in a systematic manner, from the top of the structure(s) to the ground.
- Complete demolition work above each floor or tier before disturbing any of the supporting members of the lower levels.
- Demolish concrete and masonry in all sections.
- Removed structural framing members and lower them to the ground by means of hoists, derricks or other suitable methods.
- Break up concrete slabs-on-grade, unless otherwise directed by the Owner or Owner's representative.
- Locate demolition equipment throughout the structure and Removed materials so as not to impose excessive loads on supporting walls, floors, or framing.
- Provide interior and exterior shoring, bracing and supports to prevent movement, settlement or collapse of structures to be demolished (and adjacent facilities, if applicable).
- Demolish and Removed all materials within the area of replacement.
- Erect and maintain covered passageways in order to provide safe passage for persons around the area of demolition. Conduct all demolition operations in a manner that will prevent damage and personnel injury to structures, adjacent buildings and all persons.
- Refrain from using explosives without prior approval from applicable governmental authorities.
- Conduct demolition services in such a manner to insure minimum interference with roads, streets, walks and other adjacent facilities. Do not close or obstruct streets, walks, or other occupied facilities without prior approval from any applicable governmental authorities. Provide alternative routes around closed or obstructed traffic ways. If required by applicable governmental regulations.
- Use watering, temporary enclosures and other suitable methods, as necessary to limit the amount of dust and dirt rising and scattering in the air. Clean adjacent structure and improvements of all dust and debris caused by the demolition operations. Return all adjacent areas to the conditions existing prior to the start of work.
- Accomplish and perform the demolition in such a manner as to prevent the unauthorized entry of persons at any time.
- Completely fill below grade areas and voids resulting from the demolition of structures and foundations with soil materials consisting of stone, gravel and sand, free from debris, trash, frozen materials, roots and other organic matter. Stones used will not be larger than 6 inches in dimension. Material from demolition may not be used as fill. Prior to placement of fill materials, undertake all necessary action in order to insure that areas to be filled are free of standing water, frozen material, trash, debris. Place fill materials in horizontal layers not exceeding 6 inches in loose depth and compact each layer at placement to 95% optimum density. Grade the surface to meet adjacent contours and to provide surface drainage.
- REMOVE from the designated site, at the earliest possible time, all debris, rubbish, salvageable items, hazardous and combustible services. Removed materials may not be stored, sold or burned on the site. Removal of hazardous and combustible materials shall be accomplished in accordance with the procedures as authorized by the fire department or other appropriate regulatory agencies and departments.
- Disconnect, shut off and seal in concrete utilities serving the structure(s) to be demolished before the commencement of the designated demolition. Mark for position all utility drainage and sanitary lines and protect all active lines. Clearly identify before the commencement of demolition services the required interruption of active systems that may affect other parties, and notify all applicable utility companies to insure the continuation of service.
- Secure Area Note:
 The contractor shall be responsible for providing and maintaining a secured perimeter around the area of construction. The secured perimeter shall be constructed in accordance with OSHA standards and guidelines and also all applicable regulations from the Commonwealth of Massachusetts.
- All existing disturbed frames and grates of manholes and catch basins which are not being completely removed shall be reset to accommodate the proposed grading.



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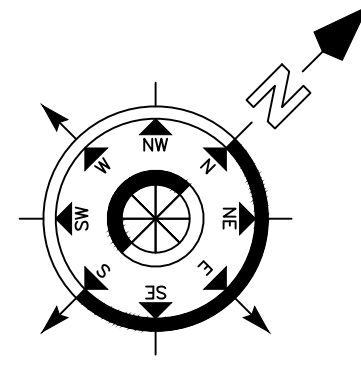
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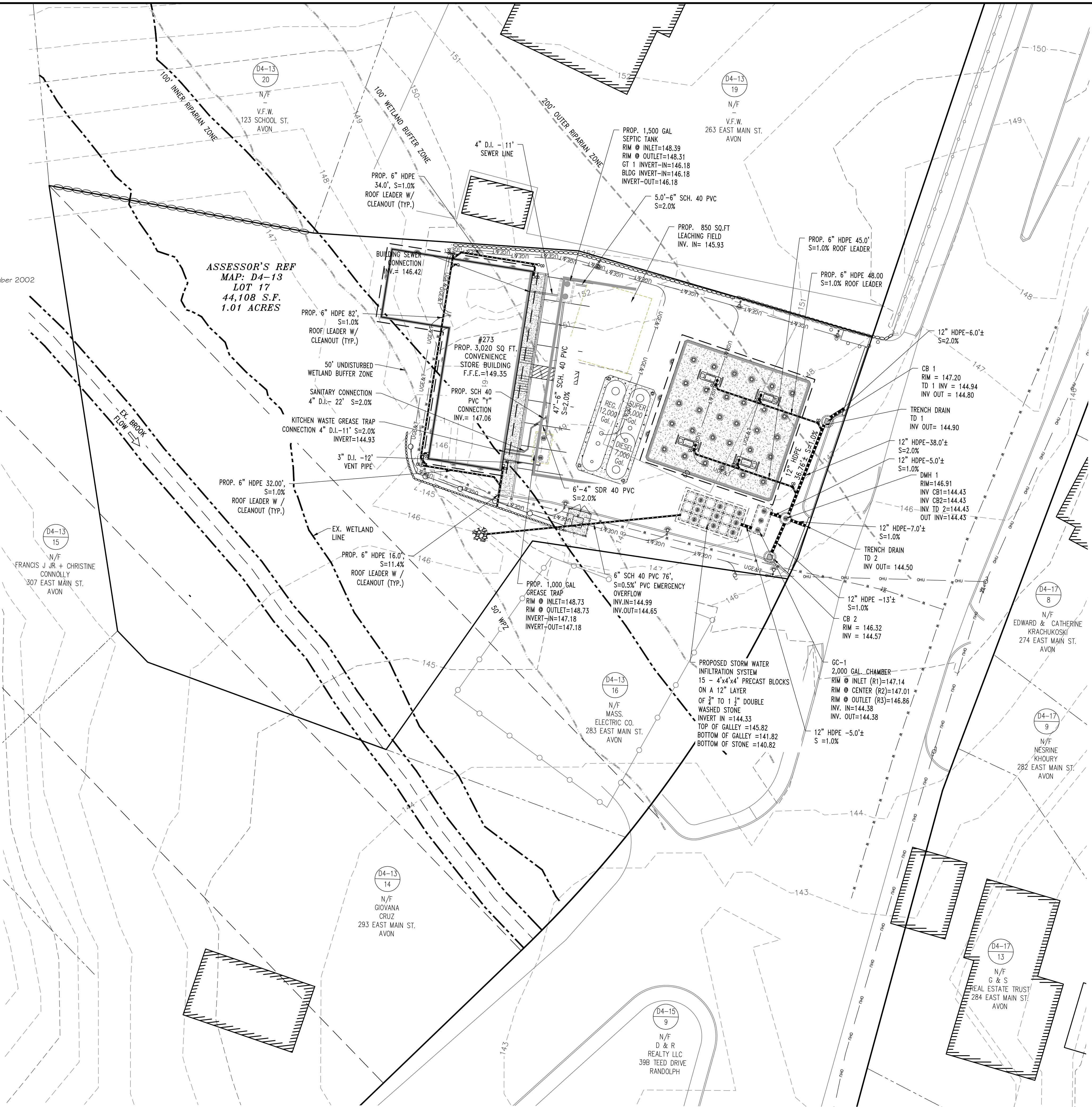
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Minimum Frontage	50 Ft.
Front Yard Setback	15 Ft.
Side Yard Setback	0 Ft.
Rear Yard Setback	30 Ft.
Maximum Lot Coverage by Structure	25%



GENERAL UTILITY NOTES:

- It is the responsibility of the contractor to review all of the drawings and specifications associated with this project workscope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the engineer of record in writing prior to the start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
- Contractor is responsible for verification of existing topography information and utility invert elevations prior to the commencement of any construction. Contractor to ensure 1.0% minimum grade across all paved surfaces and slope along all gutters to prevent ponding. The contractor is responsible for identifying all discrepancies and other conditions that may affect public safety as well as the project cost to the engineer immediately in writing.
- Location of all existing and proposed services are approximate and must be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility service connection points shall be confirmed independently by the contractor in the field prior to the commencement of construction.
- All utility locations are approximate. It is the responsibility of the contractor to locate conduits, product piping, etc. Prior to commencement of excavation of any type.
- Refer to construction details plan for grading and yard details.
- In case of discrepancies between plans, the Site Plan will supercede in all cases. Contractor is to notify the engineer of record of any conflicts.
- All site work including concrete mats and paving shall be constructed in accordance with all applicable codes, rules, and regulations from any state, federal, and local codes, rules, and regulations applicable.
- It shall be the contractor's responsibility to notify "DIG-SAFE" (811) 72 hours prior to any excavation on this site. Contractor shall also notify the Avon DPW to mark out their utilities.
- The limits of work shall be clearly marked in the field prior to the start of construction or site cleaning. Contractor is responsible for providing all necessary traffic safety measures at all times in accordance with all applicable regulations including M.H.D. Approval and police details as required.
- All concrete and bituminous patch areas to match existing grades.
- Any reproduction of these Engineered Documents without the prior consent of the "Engineer of Record" is strictly prohibited.
- Existing monitoring wells to be removed/replaced/reset in accordance with environmental plans by others. These plans are not intended to represent any environmental work/improvements.

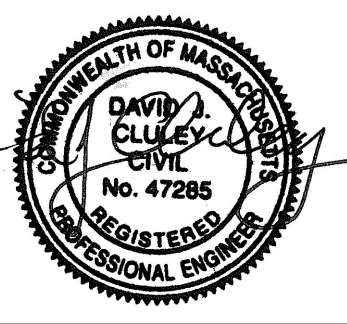
UTILITY LEGEND

	PROPOSED UNDERGROUND ELECTRIC/TELEPHONE
	PROPOSED UNDERGROUND WATER SUPPLY
	PROPOSED DRAINAGE LINE
	PROPOSED SEWER LINE

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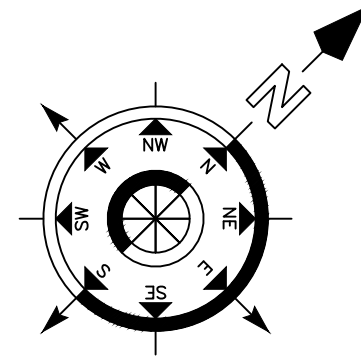
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ZONING REQUIREMENTS

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GENERAL GRADING NOTES:

1. It is the responsibility of the contractor to review all of the drawings and specifications associated with this project workscope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the engineer of record in writing prior to the start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
2. Contractor is responsible for verification of existing topography information and utility invert elevations prior to the commencement of any construction. Contractor to ensure 1.0% minimum grade across all paved surfaces and slope along all gutters to prevent ponding. The contractor is responsible for identifying all discrepancies and other conditions that may effect public safety as well as the project cost to the engineer immediately in writing.
3. Location of all existing and proposed services are approximate and must be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility service connection points shall be confirmed independently by the contractor in the field prior to the commencement of construction.
4. All utility locations are approximate. It is the responsibility of the contractor to locate conduits, product piping, etc. Prior to commencement of excavation of any type.
5. Proposed top of curb elevations to be generally 6" above existing local asphalt grade. Field adjust to create a minimum of 1.0% gutter grade along curb face. Engineer to approve final curbing cut sheets prior to installation.
6. Refer to construction details plan for grading and yard details.
7. In case of discrepancies between plans, the Site Plan will supercede in all cases. Contractor is to notify the engineer of record of any conflicts.
8. All site work including concrete mats and paving shall be constructed in accordance with all applicable codes, rules, and regulations from any state, federal, and local codes, rules, and regulations applicable.
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10. The limits of work shall be clearly marked in the field prior to the start of construction or site cleaning. Contractor is responsible for providing all necessary traffic safety measures at all times in accordance with all applicable regulations including M.H.D. Approval and police details as required.

12. All concrete and bituminous patch areas to match existing grades.

13. Any reproduction of these Engineered Documents without the prior consent of the "Engineer of Record" is strictly prohibited.

14. Existing monitoring wells to be Removed/replaced/reset in accordance with environmental plans by others. These plans are not intended to represent any environmental work/improvements.

GRADING LEGEND

	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB SPOT ELEVATION
	PROPOSED BOTTOM OF CURB SPOT ELEVATION
	PROPOSED TOP OF WALL ELEV.
	PROPOSED BOTTOM OF WALL ELEV.

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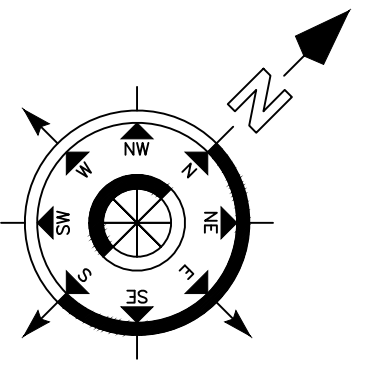
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ZONING REQUIREMENTS

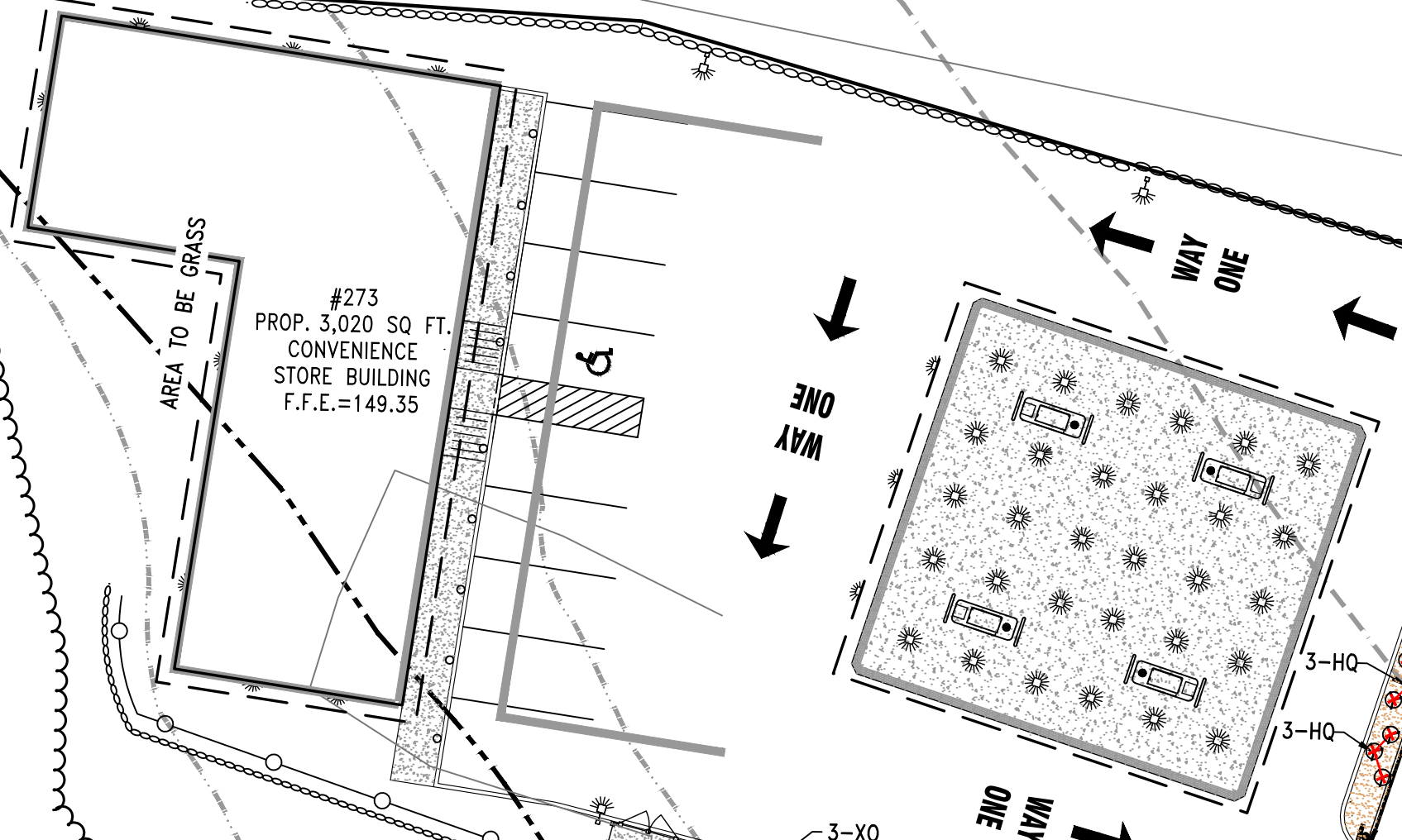
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Maximum Lot Coverage by Structure	25%

**ASSESSOR'S REF
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 LOT 17
 44,108 S.F.
 1.01 ACRES**



PLANTING NOTES:

- Plant material shall be furnished and installed as indicated; including all labor, materials, plants, equipment, incidentals, and clean-up.
- The contractor shall be responsible for planting at correct grades and alignment. Layout to be approved by Owner or Owners representative prior to installation.
- Plants shall be typical of their species and variety; have normal growth habits; well developed branches, densely foliated, vigorous root systems and be free from defects and injuries.
- Contractor shall report any soil or drainage conditions considered detrimental to the growth of plant material.
- All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provisions shall be made for a growth guarantee of at least one year from the date of acceptance for trees and shrubs. Replacements shall be made at the beginning of the first succeeding planting season. All replacements shall have a guarantee equal to that stated above.
- Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted. Plants shall not remain unplanted for longer than a three day period after delivery. Any plants not installed during this period will be rejected.
- Quality and size of plants, spread of roots, and size of balls shall be in accordance with ANSI 260 (rev. 1980) "American Standard for Nursery Stock" as published by the American Association of Nurserymen, Inc.
- All plants shall be planted in amended top soil that is thoroughly watered and tamped as back filling progresses. Planting mix to be as shown on planting details. Large planting areas to incorporate fertilizer and soil conditioners as stated in planting specifications.
- Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
- Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practice. Plants shall not be installed in topsoil that is in a muddy or frozen condition. All plant material shall be sprayed with 'Wilt-Pruf' or equal as per manufacturer's instructions.
- No plant, except ground covers, shall be planted less than two feet from existing or proposed structures and sidewalks.
- Set all plants plumb and straight. Set at such level that a normal or natural relationship to the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.
- All injured roots shall be pruned utilizing clean, sharp tools to make clean ends before planting. It is advisable to prune approximately 1/3 of the growth of large trees (2" caliper and over) by the removal of superfluous branches, those which cross, those which run parallel, etc. Main leader of trees will not be cut back. Long side branches, however, must be shortened.
- Each tree and shrub shall be pruned in accordance with standard horticultural practice to preserve natural character of plant. Pruning shall be done with clean, sharp tools.
- Trees shall be supported immediately after planting. All trees six (6) inches and over in caliper shall be guyed. Smaller trees shall be staked. Guying wires and stakes shall be installed as indicated. The landscape contractor shall removed staking, guying & tree wrap at the end of the one year maintenance & guarantee period.
- The trunks of all trees shall be wrapped as soon as possible after planting according to standard procedures and as indicated.
- All planting beds shall be mulched with 3" layer of double shredded hardwood bark mulch.
- New planting areas and sod shall be adequately irrigated or watered to establish the proposed plants and lawn.
- Prior to the issuance of any certificate of occupancy, the proposed landscape as shown on the approved landscape plan must be installed, inspected and approved by the Town of Avon. The Town of Avon shall take into account seasonal considerations in this regard as follows:

TYPE	DATES
PLANTS	3/15 TO 12/15
LAWN	3/15 TO 6/15
	9/15 TO 12/1

Furthermore, the following tree varieties shall not be planted during the fall planting season due to the hazards associated with planting these trees in this season.

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CARPINUS VARIETIES	PYRUS VARIETIES
CRATEGUS VARIETIES	QUERCUS VARIETIES
KOELREUTERIA	SALIX WEEPING VARIETIES
LIQUID AMBER STYRACIFLUA	TILIA TOMENTOSA
LIRODENDRON TULIPIFERA	ZELKOVA VARIETIES PLATANUS ACERFOLIA

Any plantings installed in conflict with this requirement must receive the written approval of the engineer prior to planting. Failure to comply with these requirements will require the removal of the planting in question. This requirement does not apply to seeding or sodding or plantings specifically for soil stabilization purposes. The planting associated with any lot given a certificate of occupancy outside these periods shall be provided during the previous or next appropriate season.

20. All disturbed areas to be treated with 4" top soil & seeded in accordance with permanent stabilization methods indicated on soil erosion sediment control sheet.

LANDSCAPE SCHEDULE

KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	QUANTITY
HQ	⊗	Hydrangea quercifolia	Oak Leaf Hydrangea	2' - 3'	15
XO	✱	Ilex opaca	American Holly	10'-15'	6



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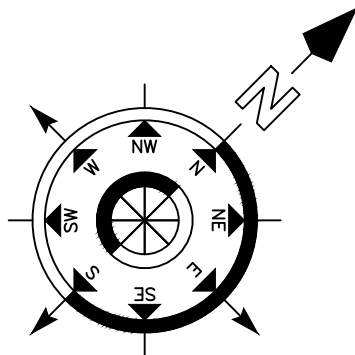
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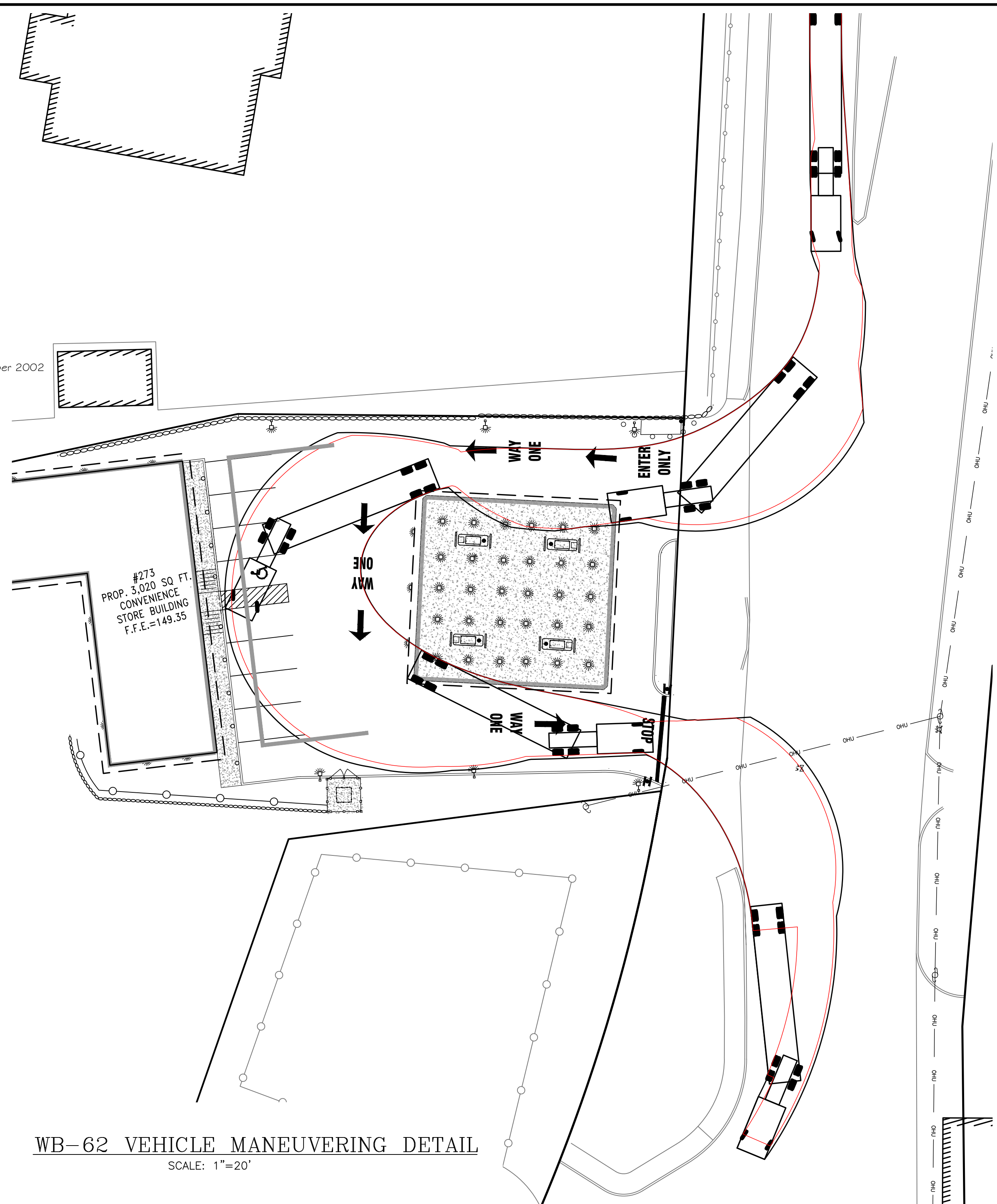
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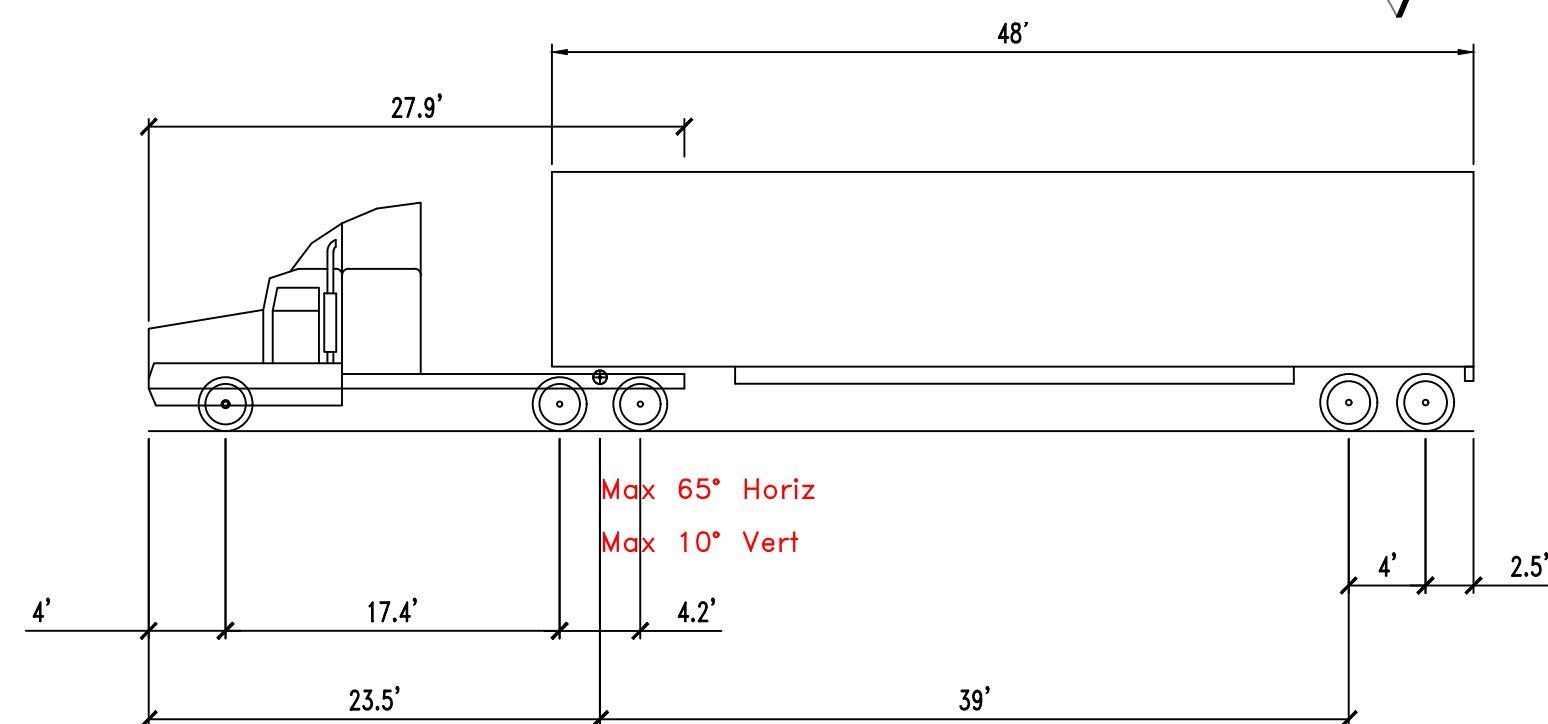
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Rear Yard Setback	30 Ft.
Maximum Lot Coverage by Structure	25%



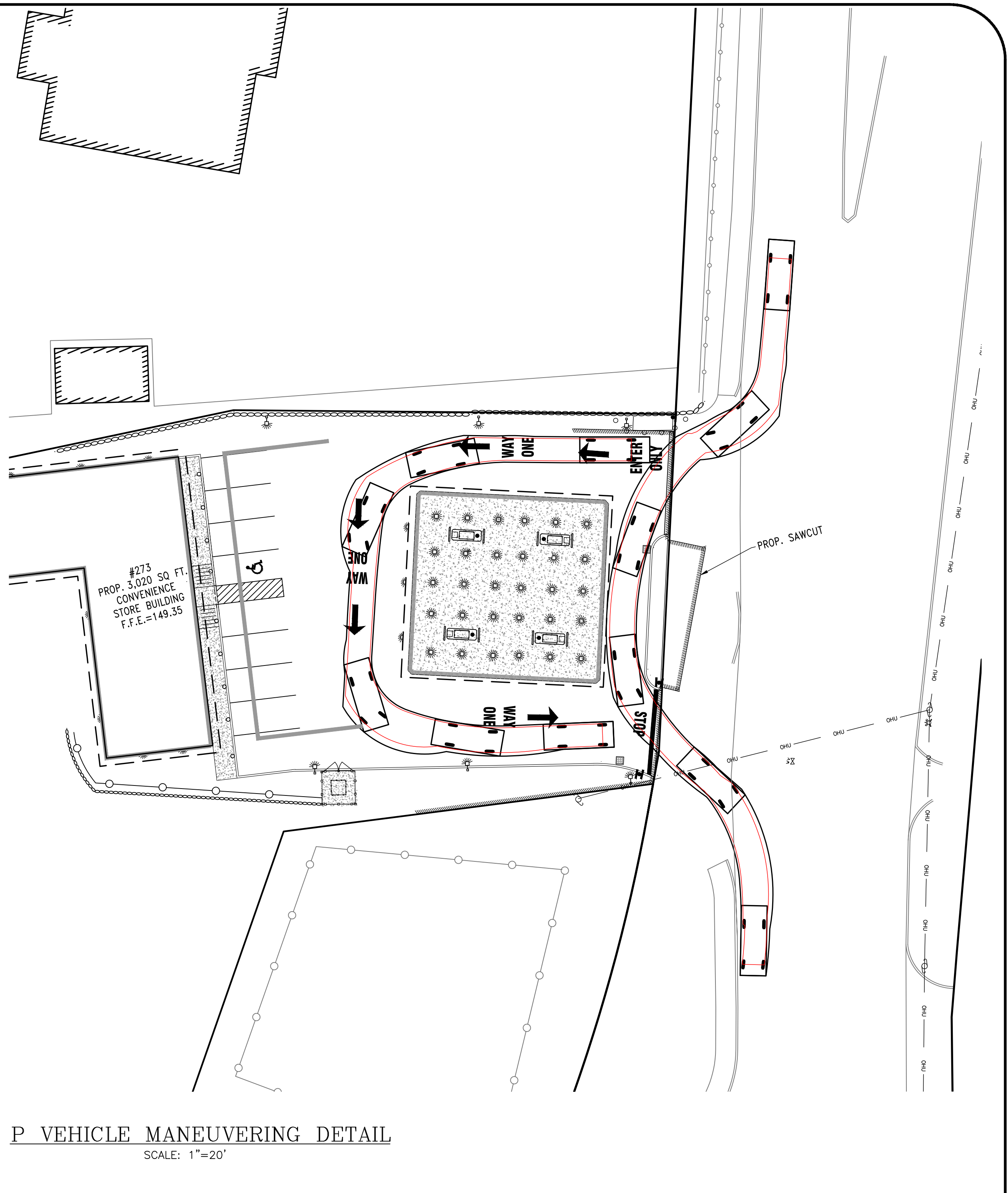
WB-62 VEHICLE MANEUVERING DETAIL

SCALE: 1"=20'



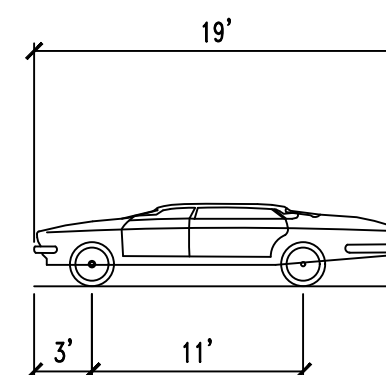
WB-62 - Interstate Semi-Trailer

Overall Length	69.000ft
Overall Width	8.500ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.334ft
Max Track Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	28.40°



P VEHICLE MANEUVERING DETAIL

SCALE: 1"=20'



P - Passenger Car

Overall Length	19.000ft
Overall Width	7.000ft
Overall Body Height	4.300ft
Min Body Ground Clearance	1.115ft
Track Width	6.000ft
Lock-to-lock time	4.00s
Max Steering Angle (Virtual)	31.60°

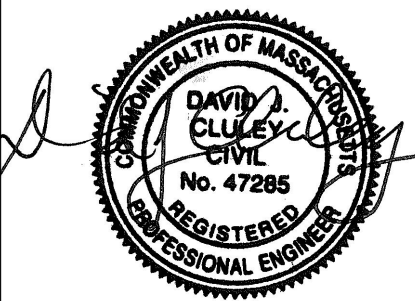


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Project: **"CONV. STORE & FUEL STATION"**
VEHICLE MANEUVERING PLAN
273 EAST MAIN STREET
AVON, MASS.

CLIENT: Priscilla-Sofia Realty Trust

SCALE: 1"=20'

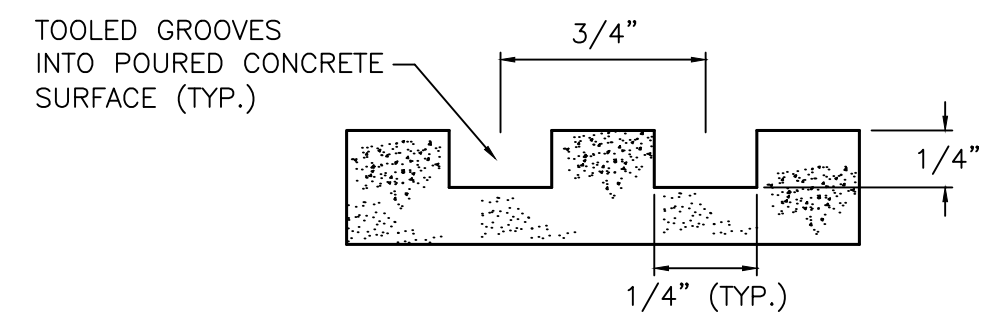
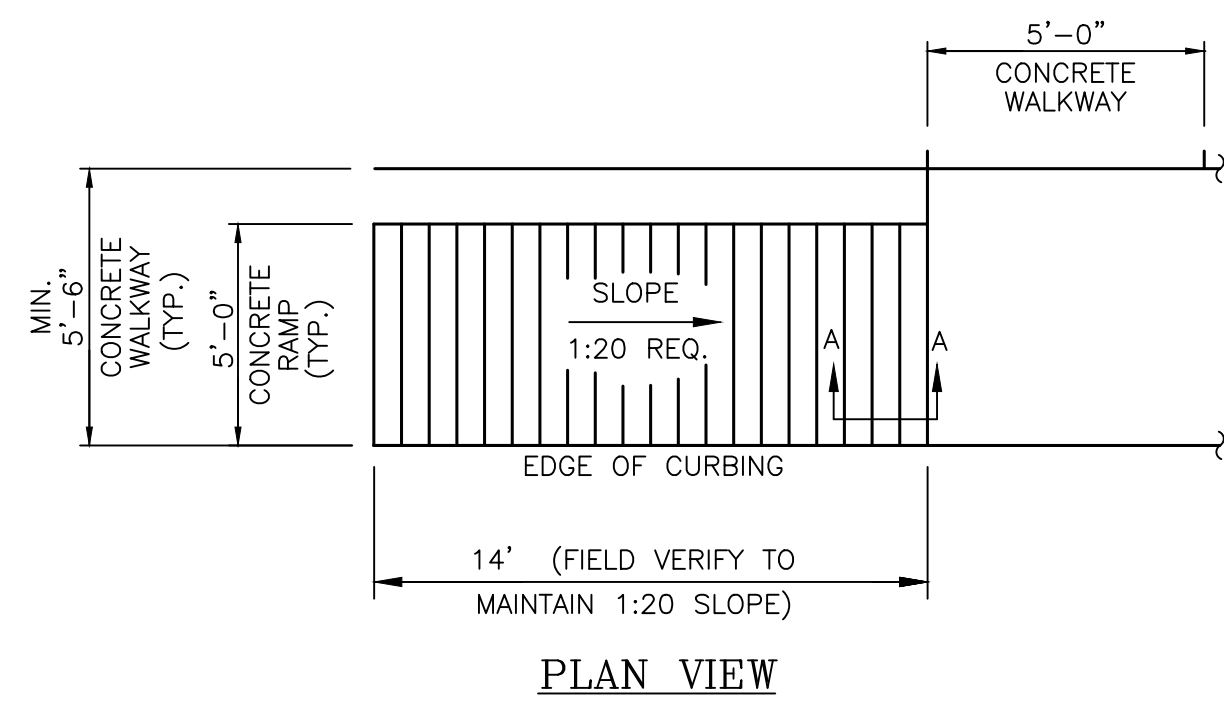
DATE: 04/08/2020

DRAWN BY: JDD/DJC/RS

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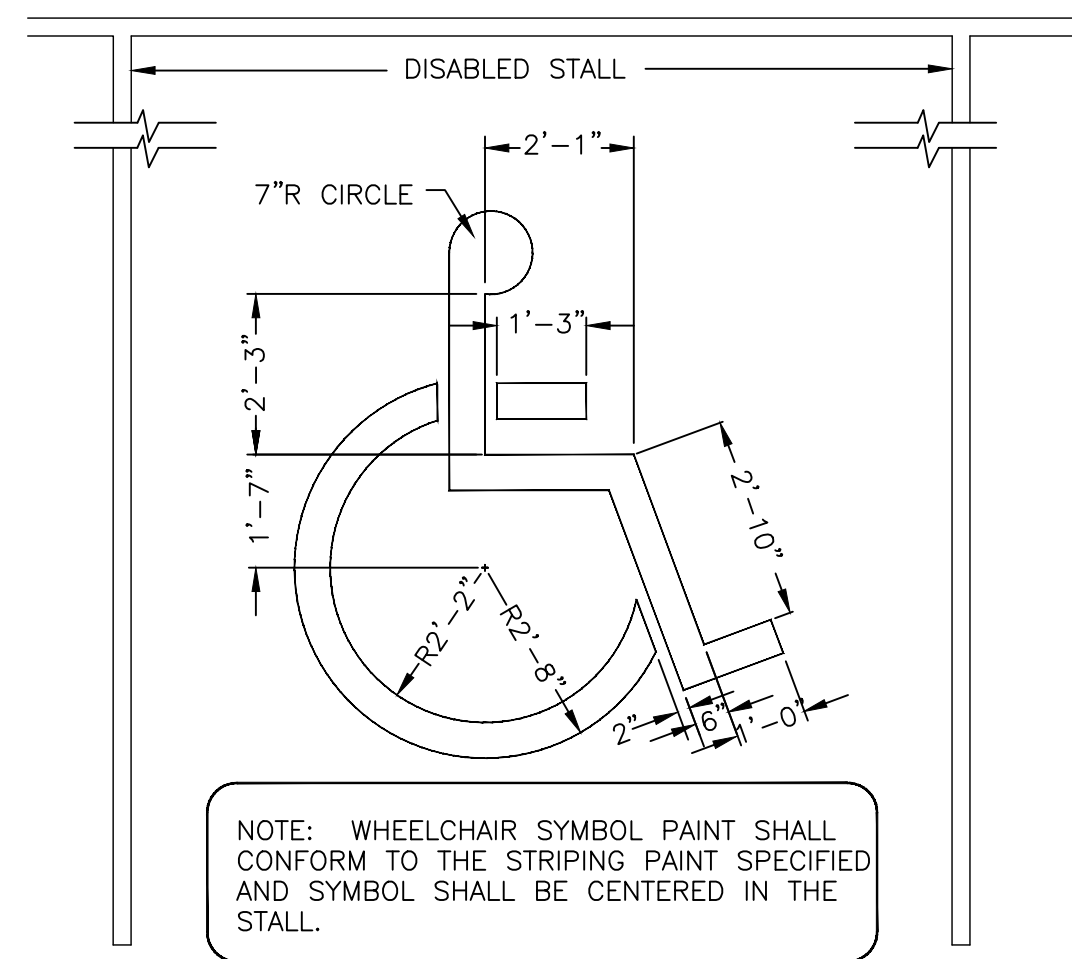
SHEET NO.

9 12
OF



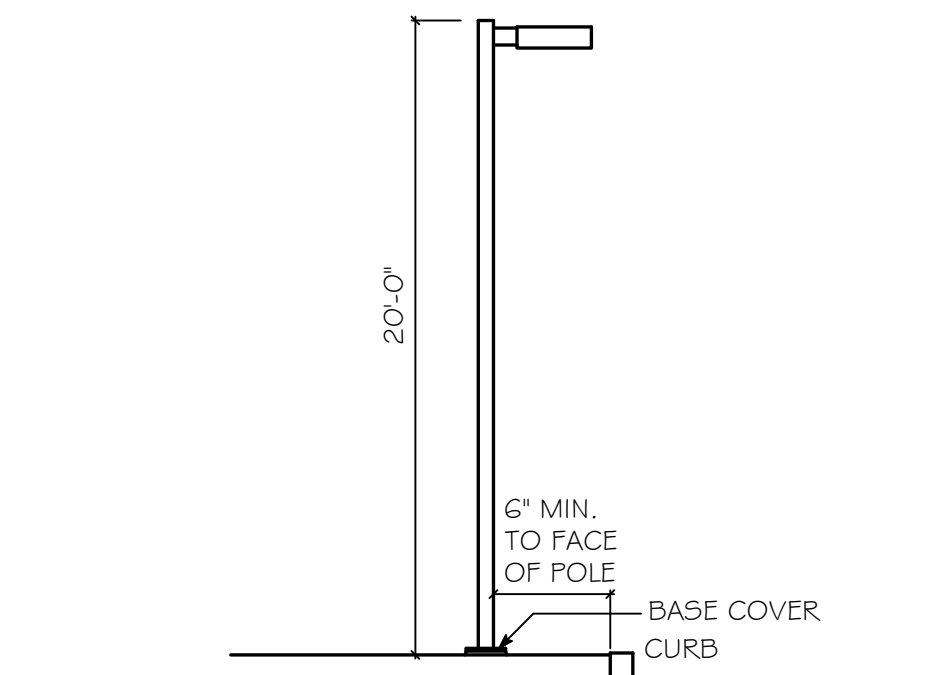
SECTION VIEW A-A
HANDICAP RAMP DETAIL

DISABLED PARKING SIGN
(TO BE MOUNTED ON SIGN POST OR BLDG.)
1.) 12"x18", 5' TO BOTTOM OF SYMBOL
2.) LOCATED SO THAT IT CANNOT BE OBSCUED BY A CAR PARKED IN THE SPACE. (2' BEHIND CURB OR 2' BEHIND WALK, AS APPLICABLE)
3.) CONFORM TO LOCAL CODES.

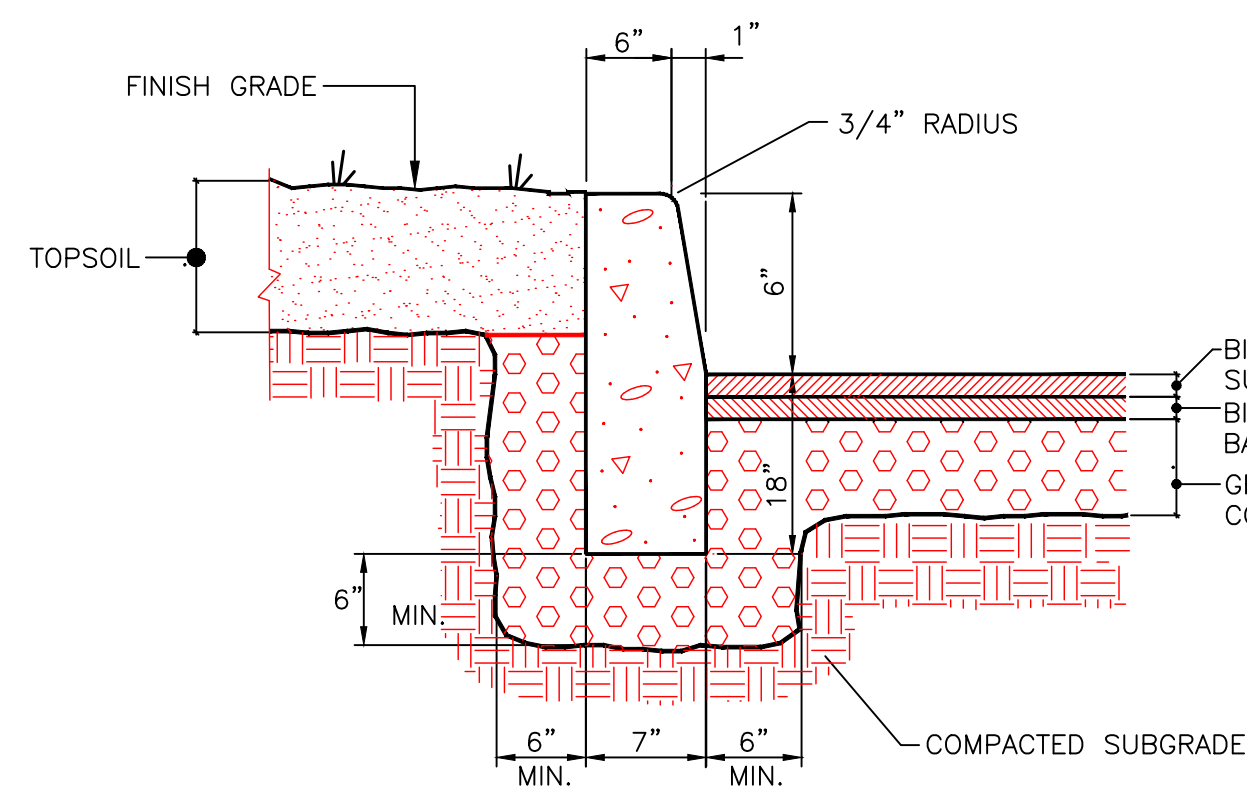


NOTE: WHEELCHAIR SYMBOL PAINT SHALL CONFORM TO THE STRIPING PAINT SPECIFIED AND SYMBOL SHALL BE CENTERED IN THE STALL.

DISABLED PARKING SPACE
NOT TO SCALE

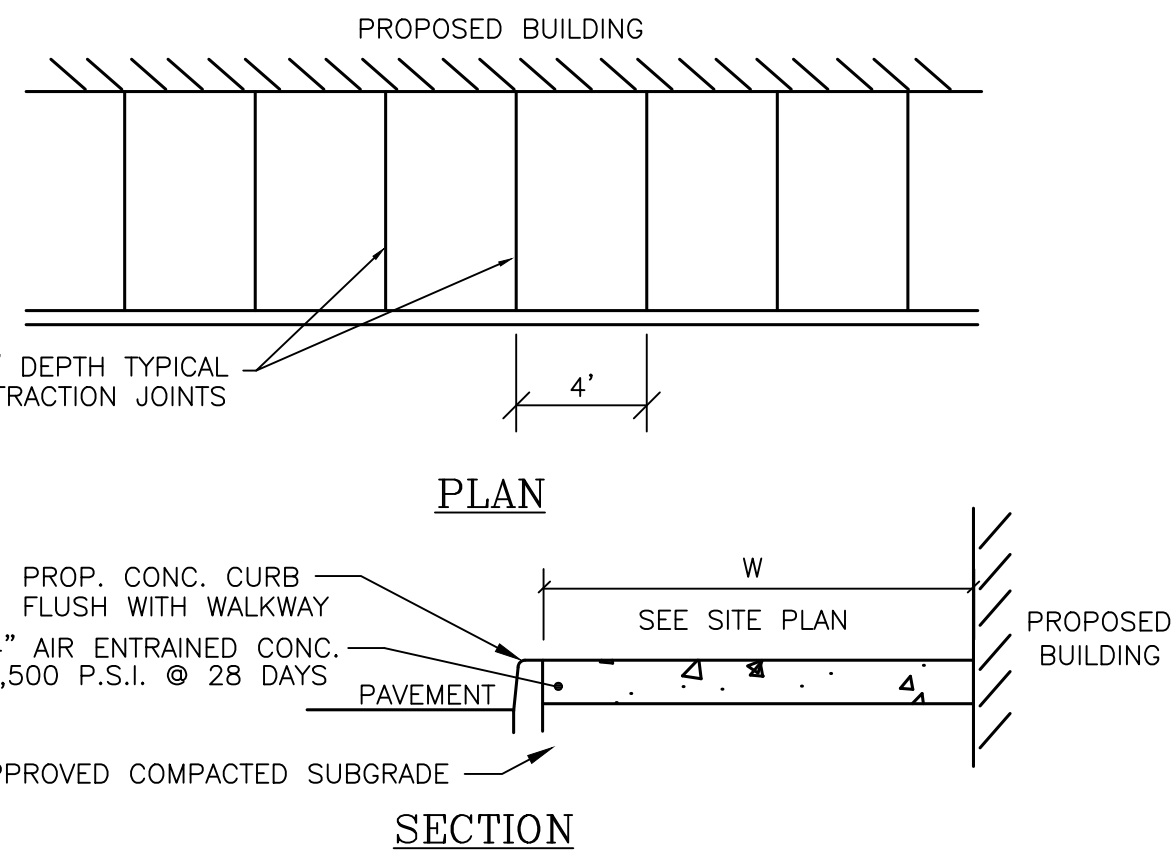


SEE MANUFACTURERS SPECIFICATIONS FOR FOOTING INFORMATION
SINGLE FIXTURE AREA LIGHT
NOT TO SCALE



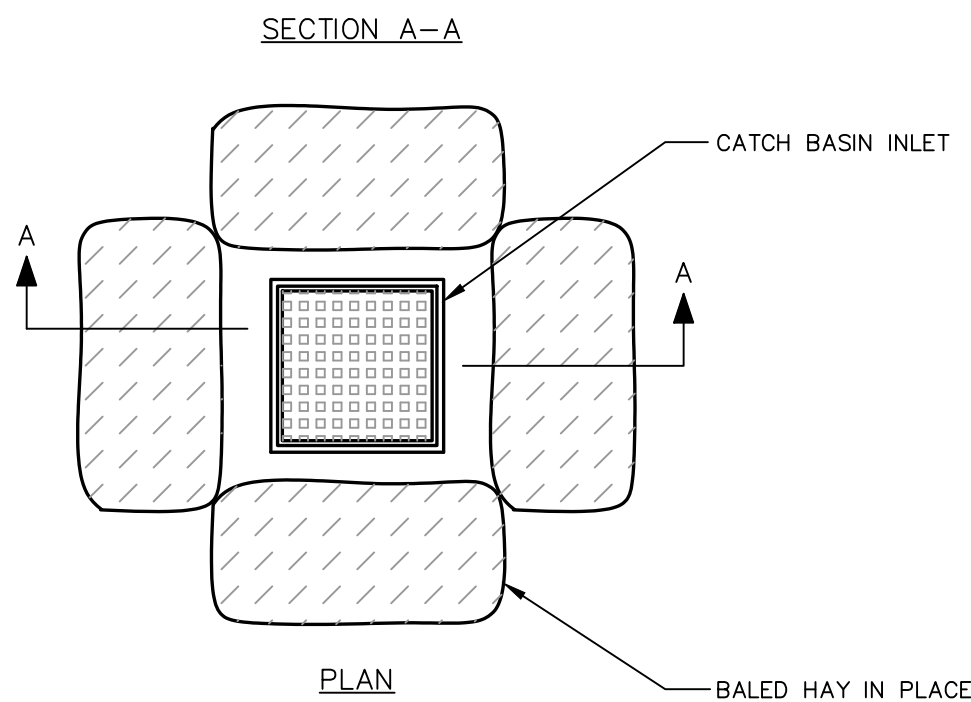
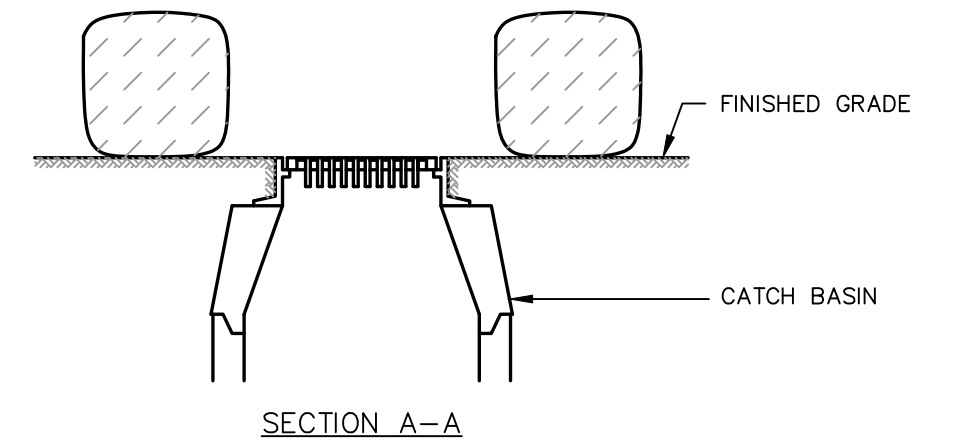
PRECAST CONCRETE CURB DETAIL
NOT TO SCALE

NOTE: CURB SHALL CONSIST OF 4,000 PSI AIR ENTRAINED CONCRETE, EXPOSED EDGES TO HAVE RUBBED FINISH AND SURFACE SHALL BE TREATED WITH A CONCRETE PENETRANT / SEALER.
THE ENDS OF CURB SECTIONS SHALL BE CHAMFERED 1/4 INCH.
THE CORNERS OF CURB SECTIONS SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.
CURB, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.
EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF TWENTY FEET (20') ON CENTER USING PREFORMED EXPANSION JOINT FILLER HAVING A THICKNESS OF 1/2 INCH.

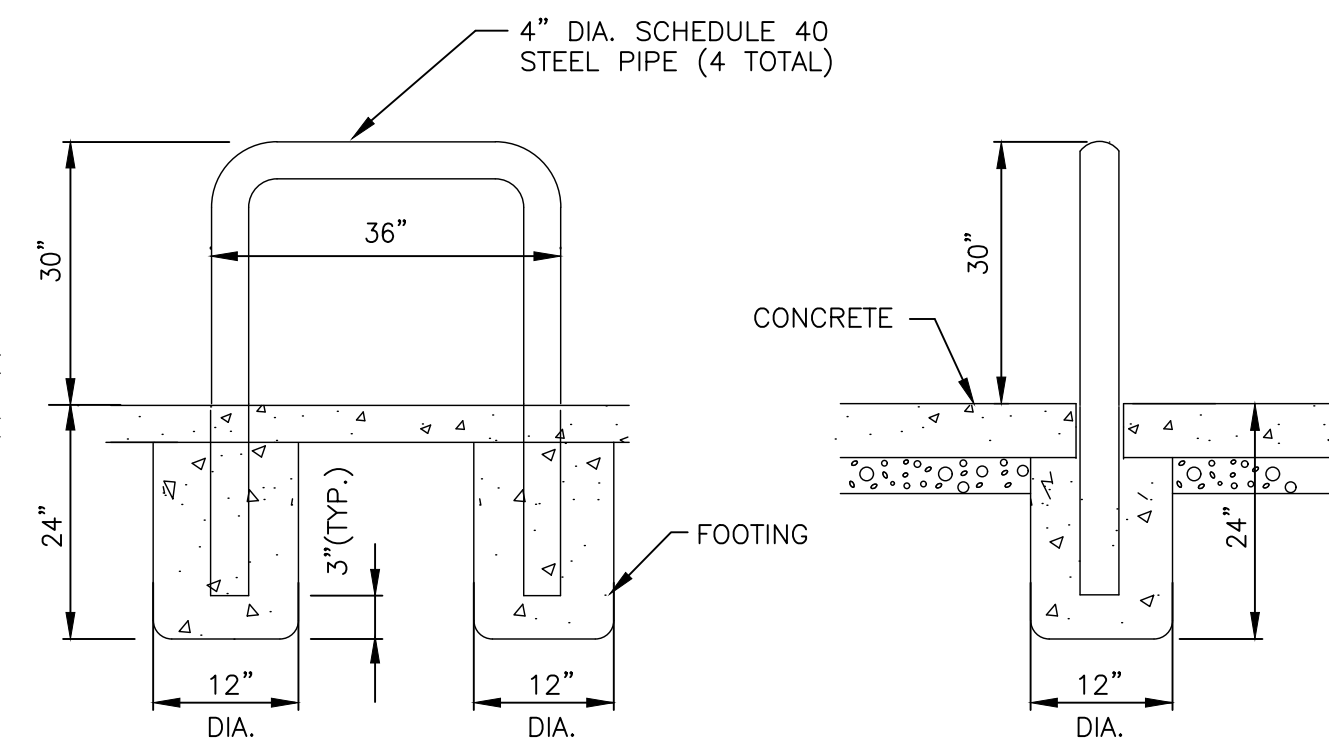


NOTE:
1. MIN. CROSS SLOPE 1/4" PER FOOT PITCHED AWAY FROM BUILDING.
2. PROVIDE 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT AT 12' INTERVALS.

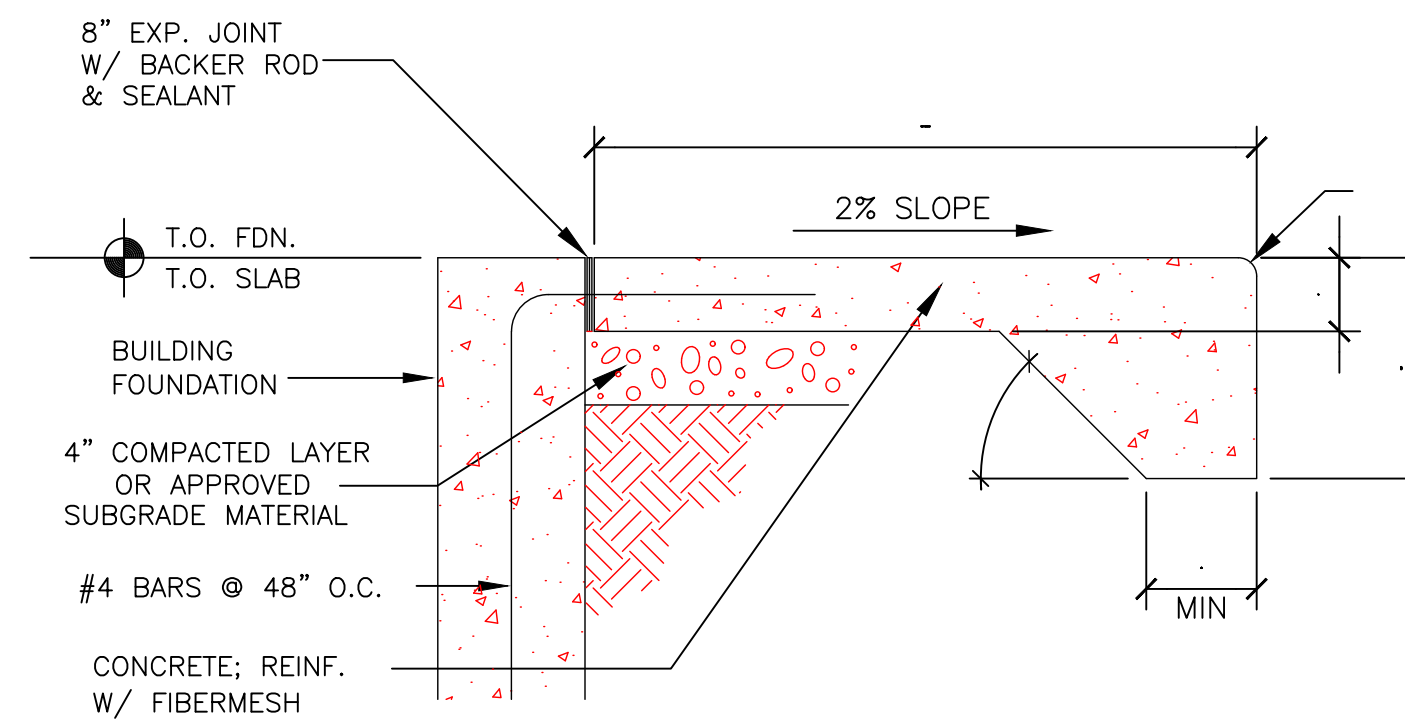
SIDEWALK DETAIL
NOT TO SCALE



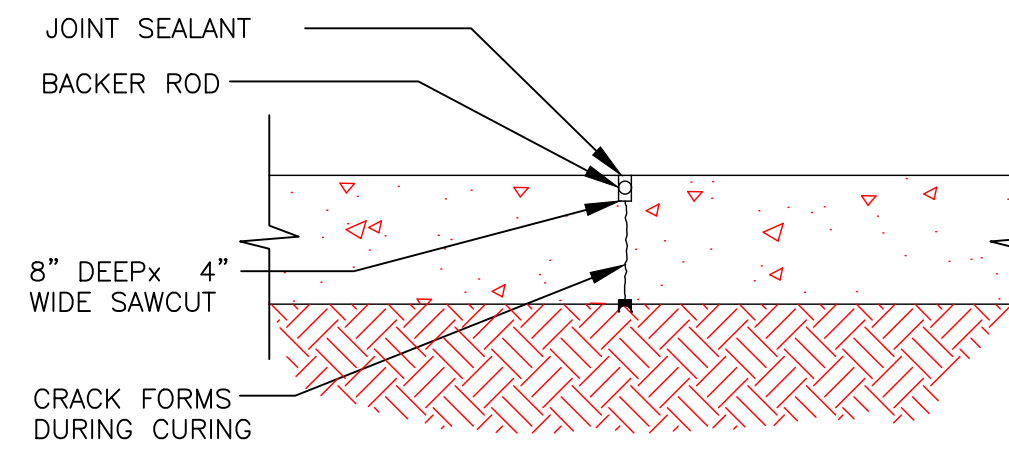
BALED HAY EROSION CONTROL FOR CATCH BASINS



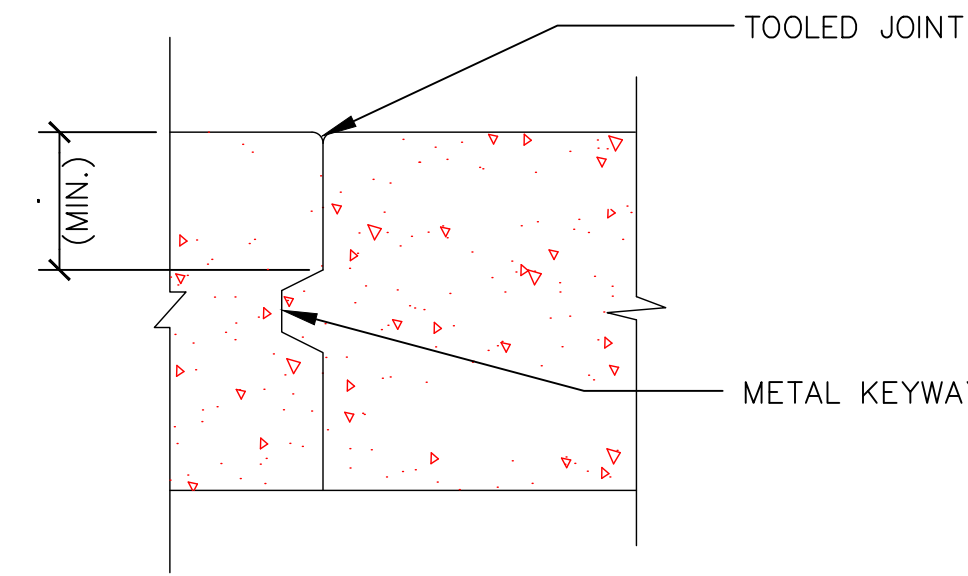
BOLLARD DETAIL
NOT TO SCALE



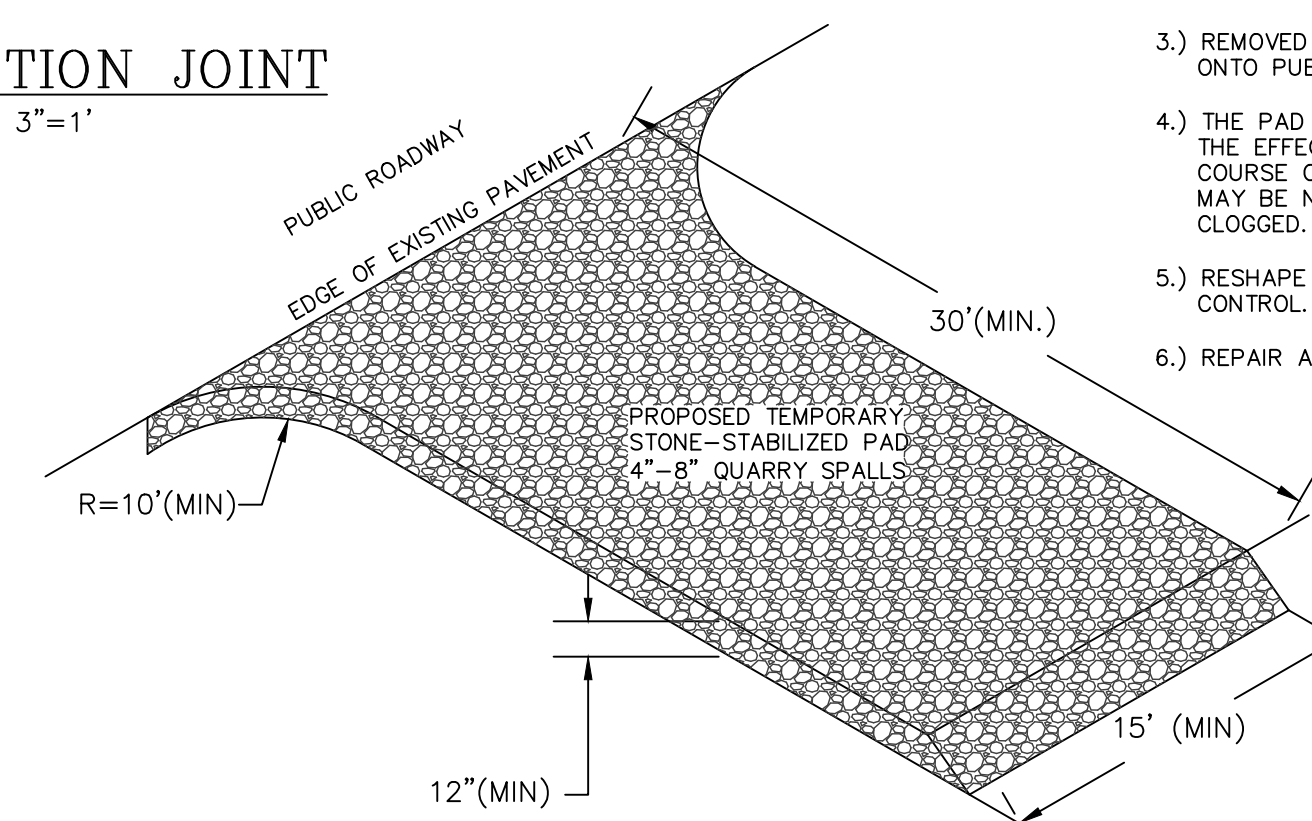
SIDEWALK @ BUILDING
SCALE: 1"=1'



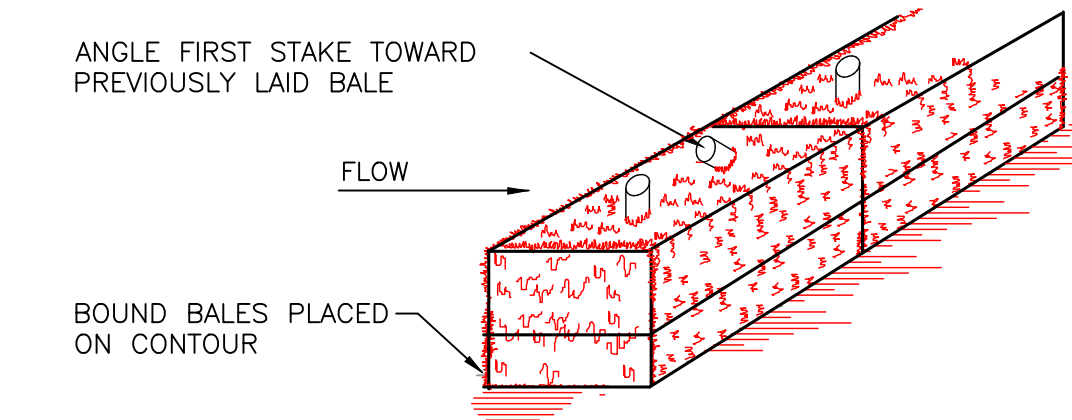
CONTRACTION JOINT
SCALE: 1"=1'



CONSTRUCTION JOINT
SCALE: 3"=1'



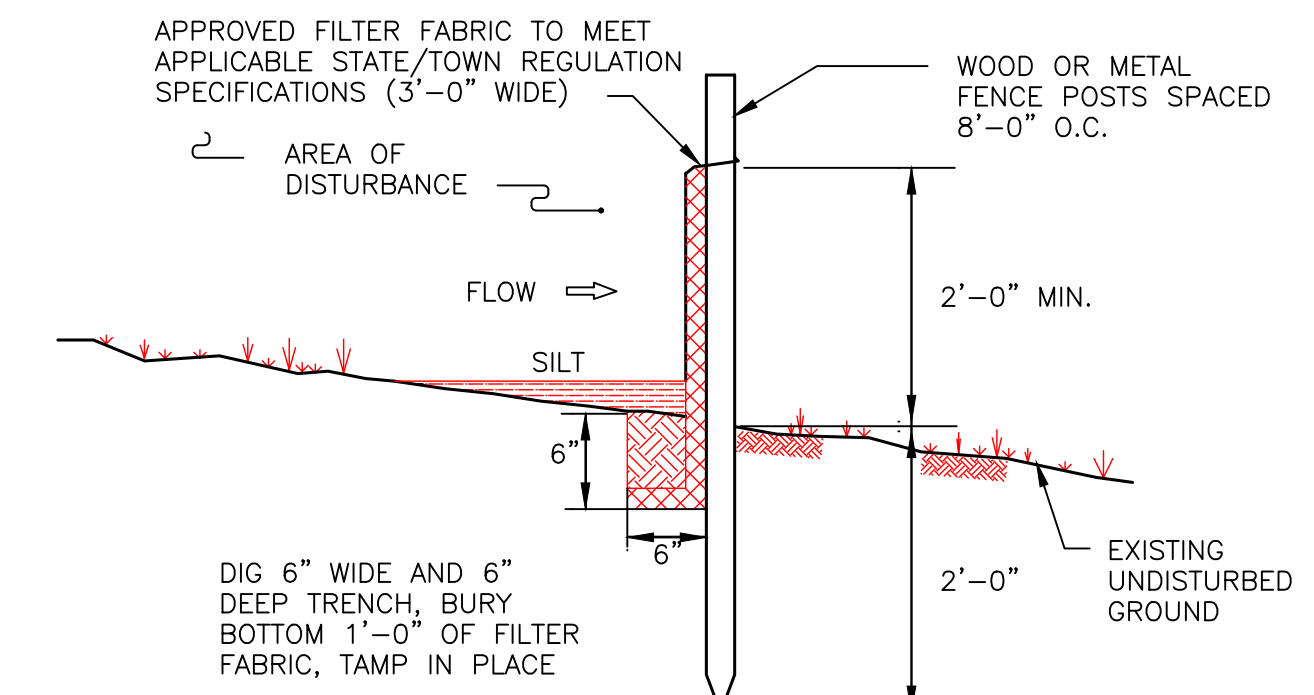
STABILIZED ENTRANCE DETAIL
(NOT TO SCALE)



DRAINAGE AREA NO MORE THAN 1/4 AC. PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%

- NOTES:
- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
 - BALES SHALL BE BIODEGRADABLE AND/OR REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE DETAIL
NOT TO SCALE



- THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 %
- SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE OWNER'S ENGINEER.

SILT FENCE
NOT TO SCALE

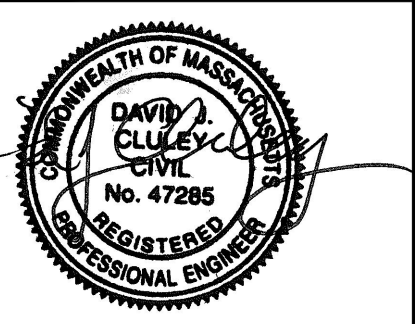
STABILIZED ENTRANCE MAINTENANCE NOTES:

- THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE.
- INSPECT ENTRANCE/EXIT PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER HEAVY RAINS OR HEAVY USE.
- REMOVED MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROAD IMMEDIATELY.
- THE PAD SHOULD BE TOPDRESSED AS NECESSARY, AS THE EFFECTIVENESS OF PAD DIMINISHES OVER THE COURSE OF CONSTRUCTION, COMPLETE REPLACEMENT MAY BE NECESSARY IF THE PAD BECOMES COMPLETELY CLOGGED.
- RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
- REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.

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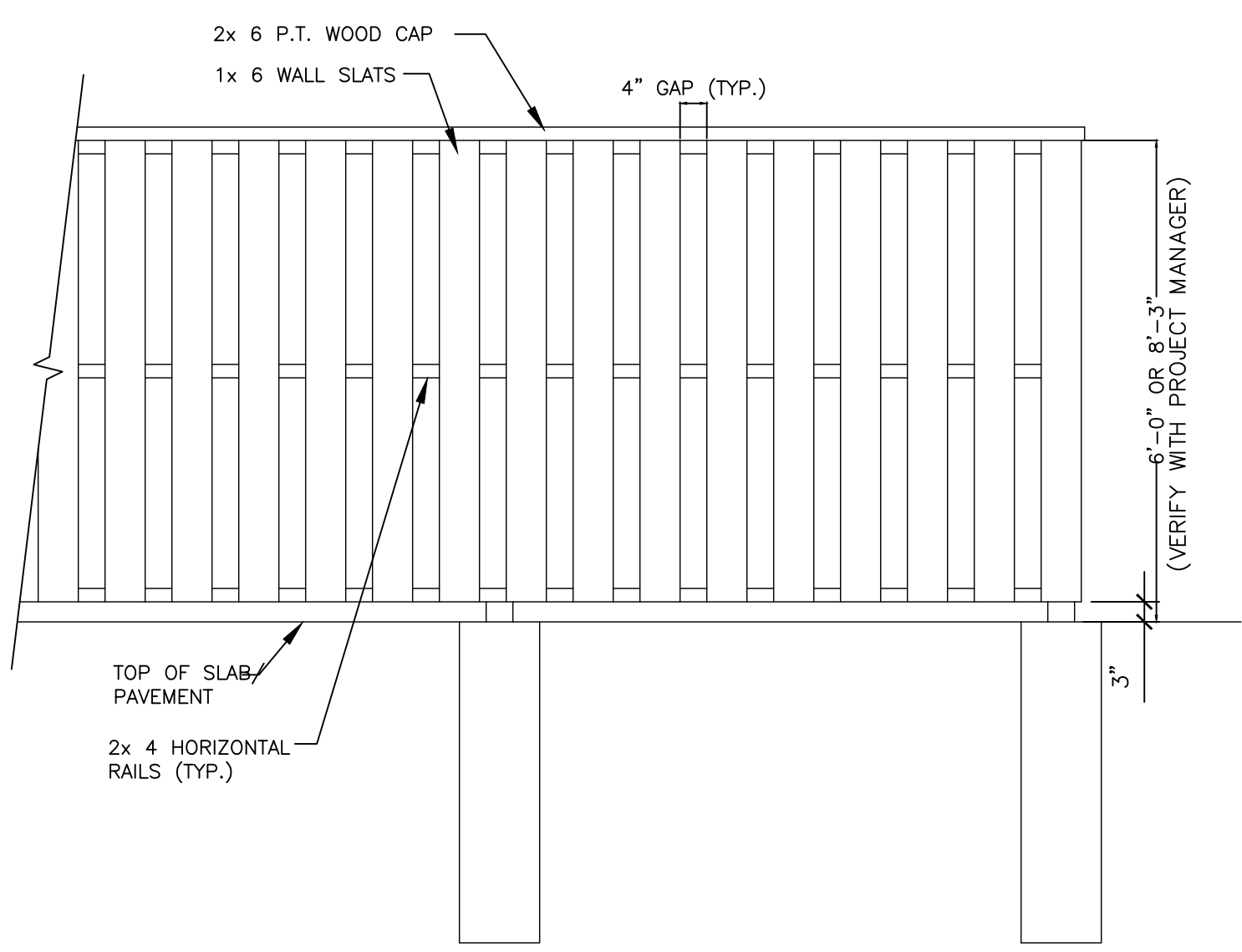
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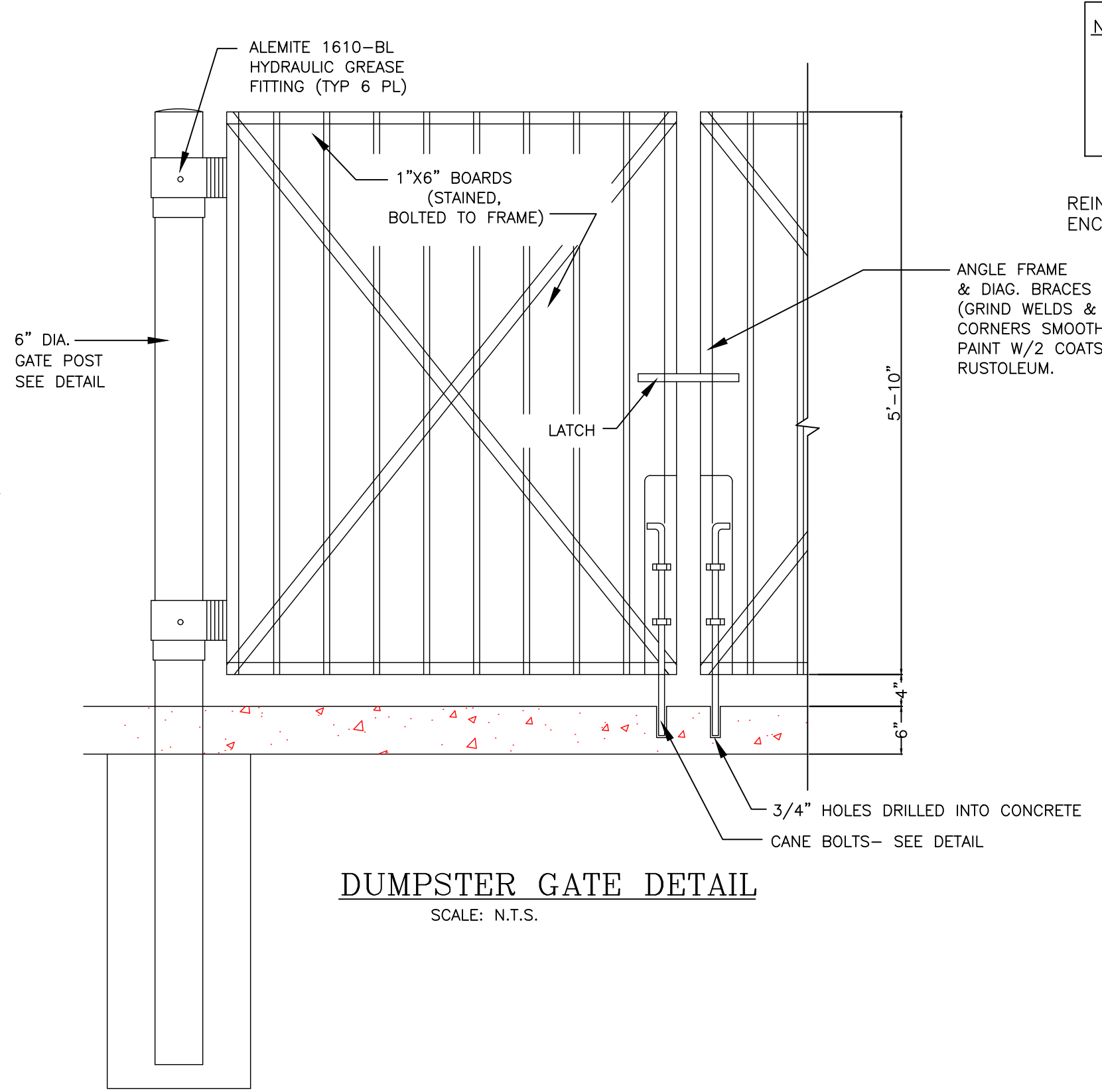
Project: "CONV. STORE & FUEL STATION"
CONSTRUCTION DETAILS
273 EAST MAIN STREET
AVON, MASS.
CLIENT: Priscilla-Sofia Realty Trust

SCALE: AS SHOWN
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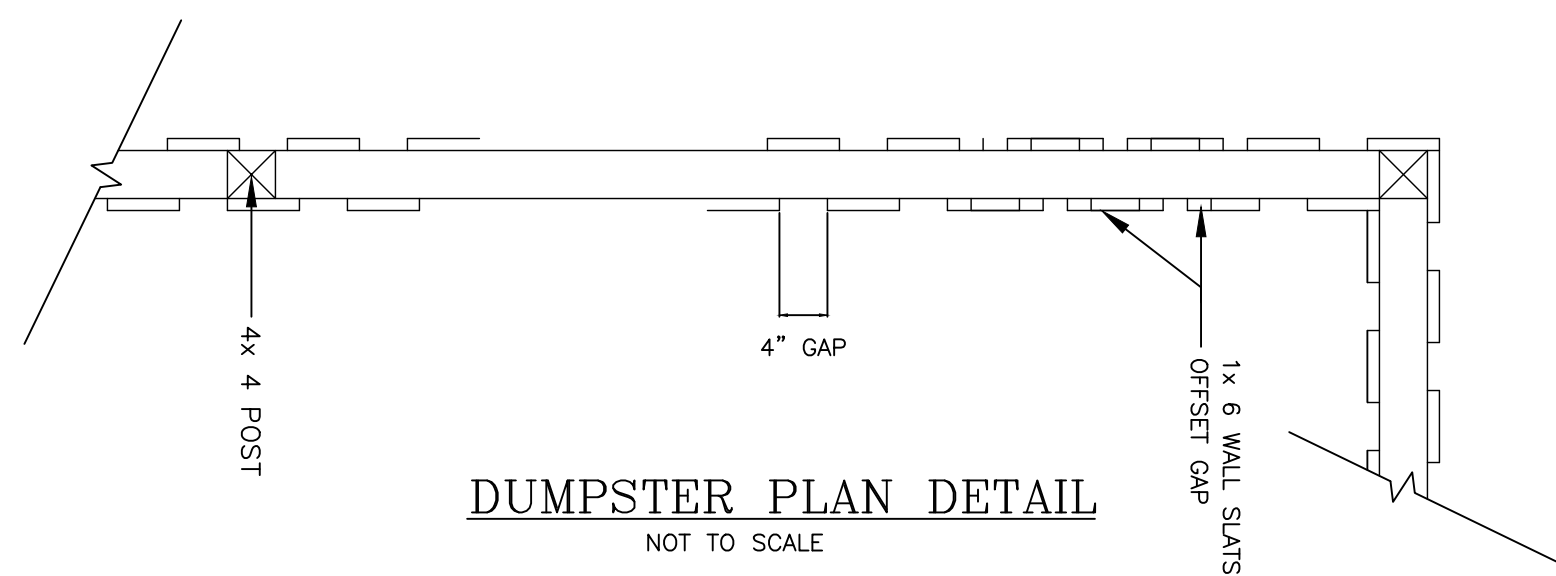
1012 OF



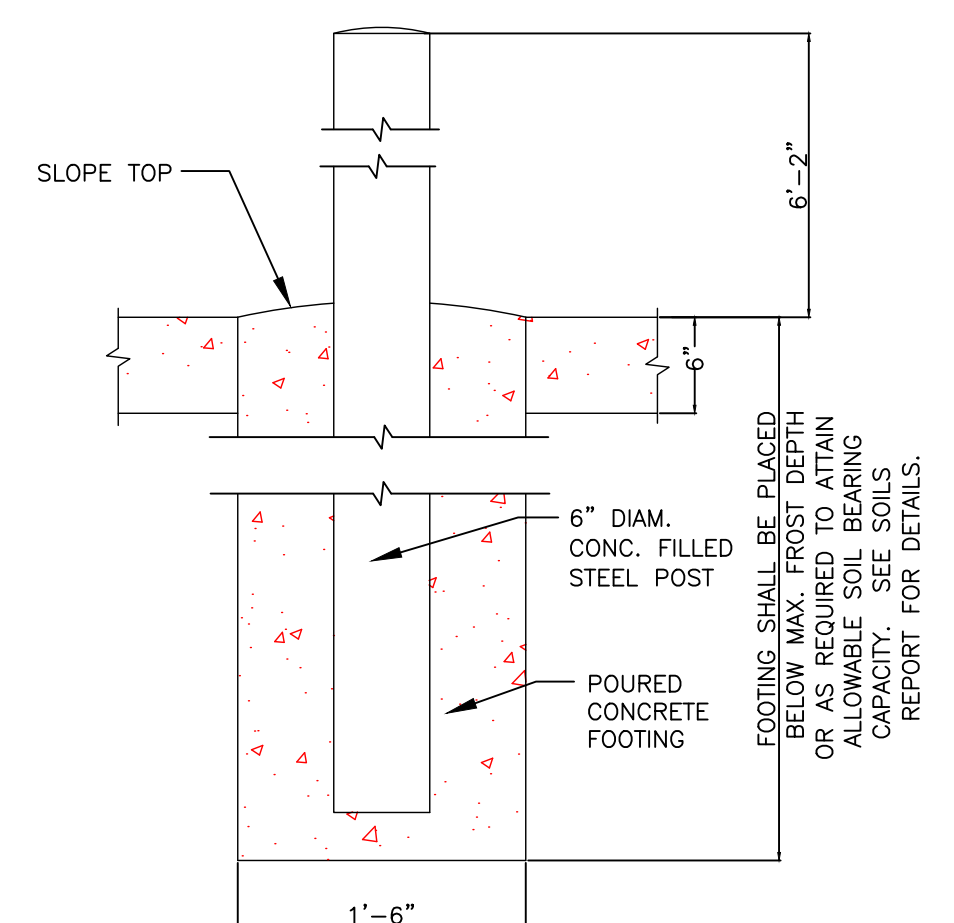
DUMPSTER WALL ELEVATION
SCALE: N.T.S.



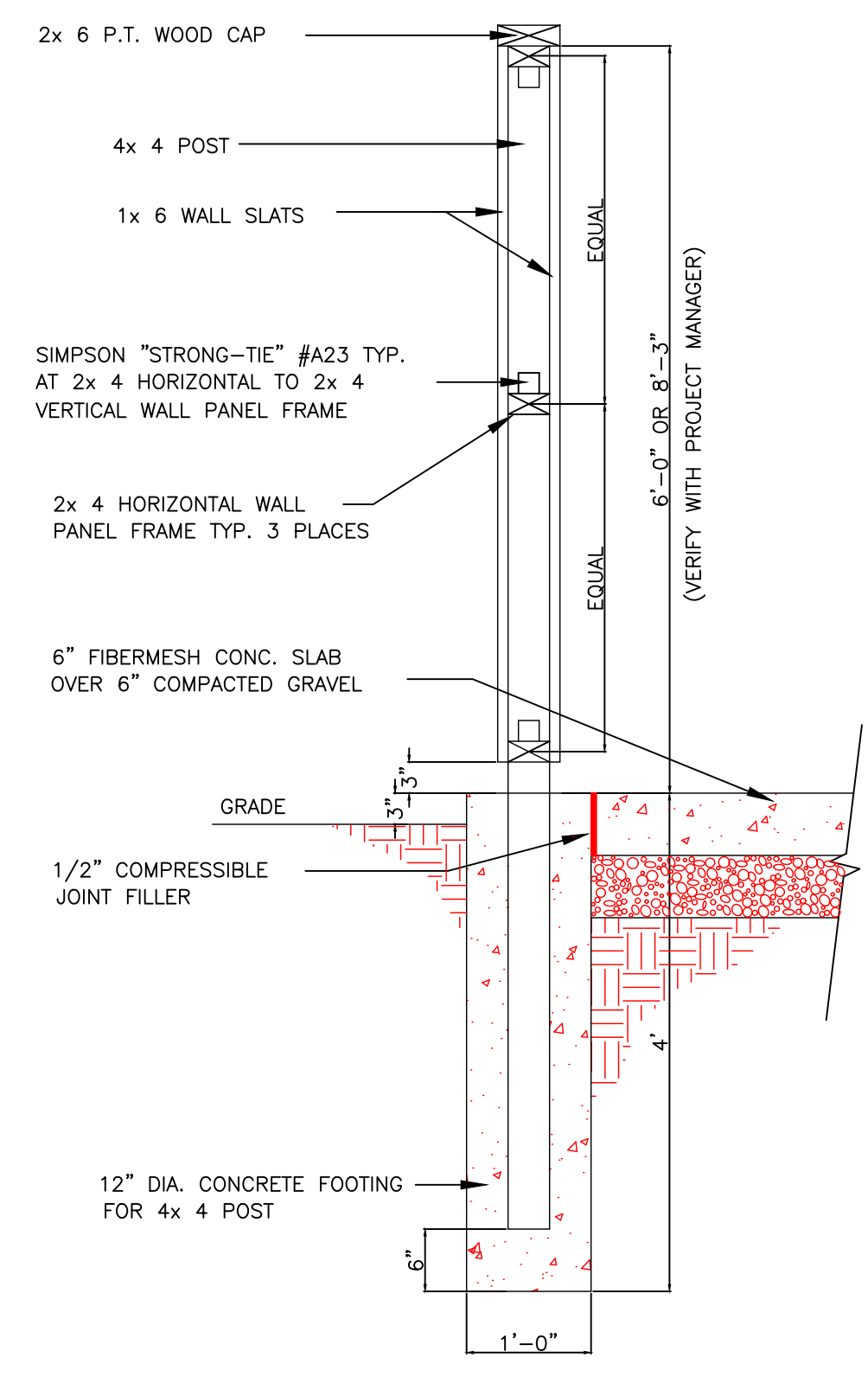
DUMPSTER GATE DETAIL
SCALE: N.T.S.



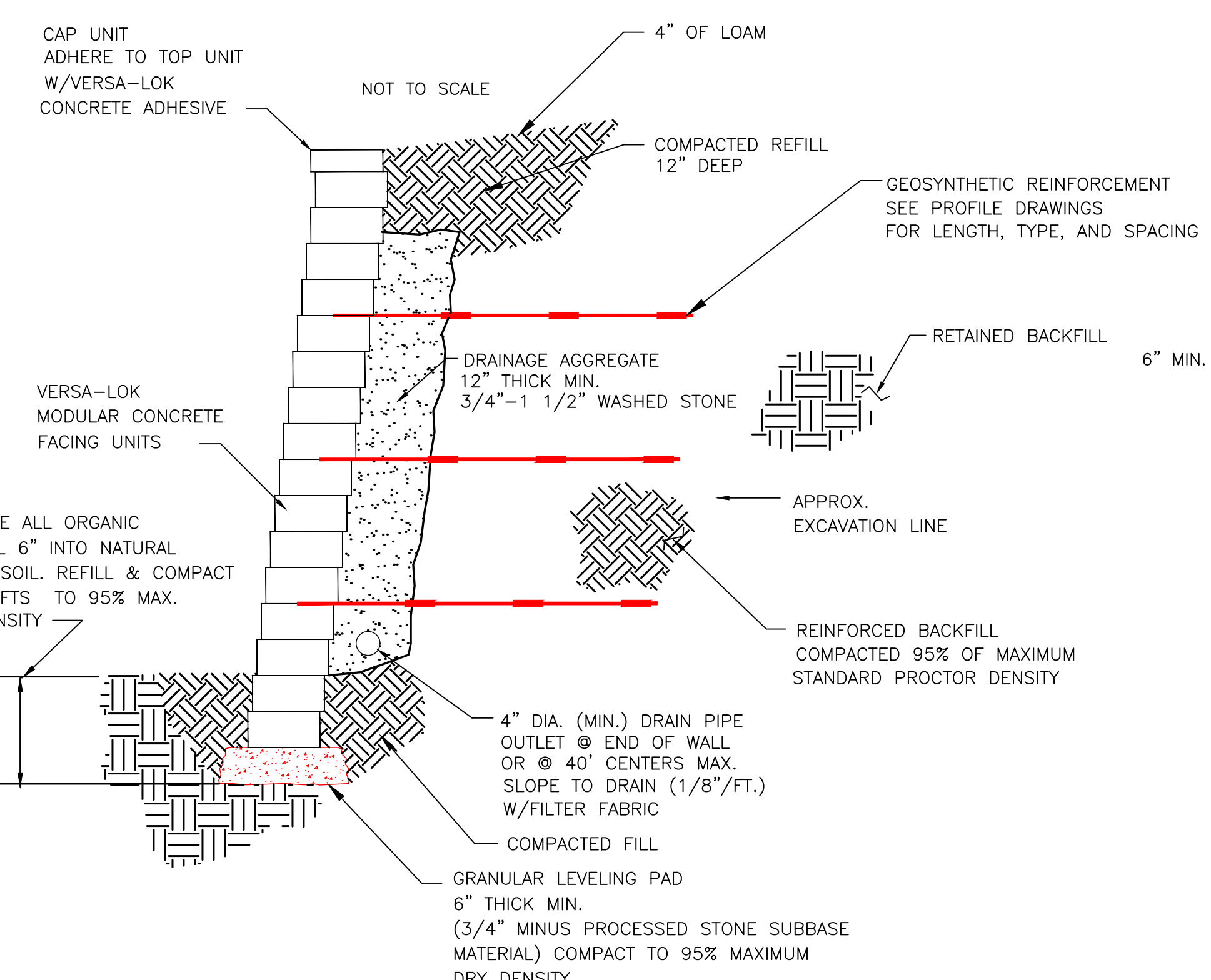
DUMPSTER PLAN DETAIL
NOT TO SCALE



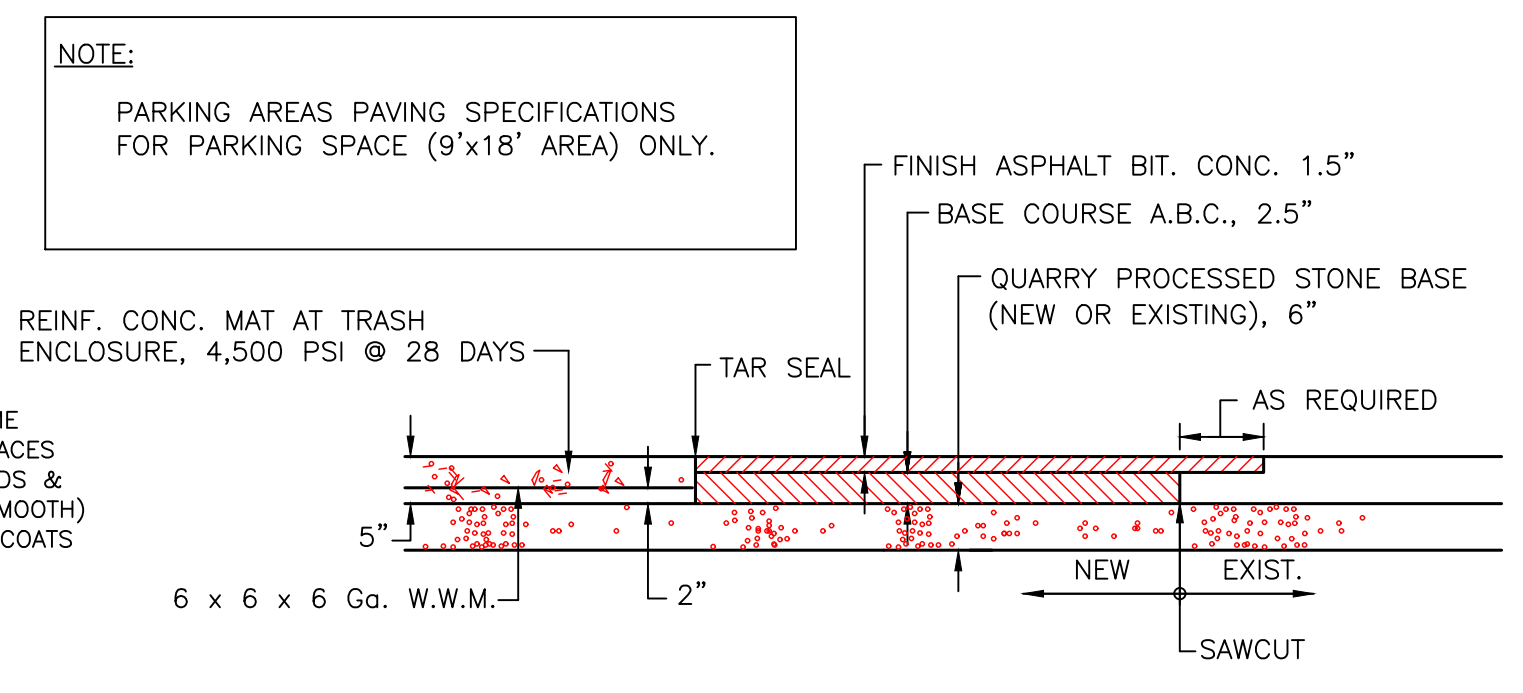
DUMPSTER GATE POST DETAIL
SCALE: 1\"/>



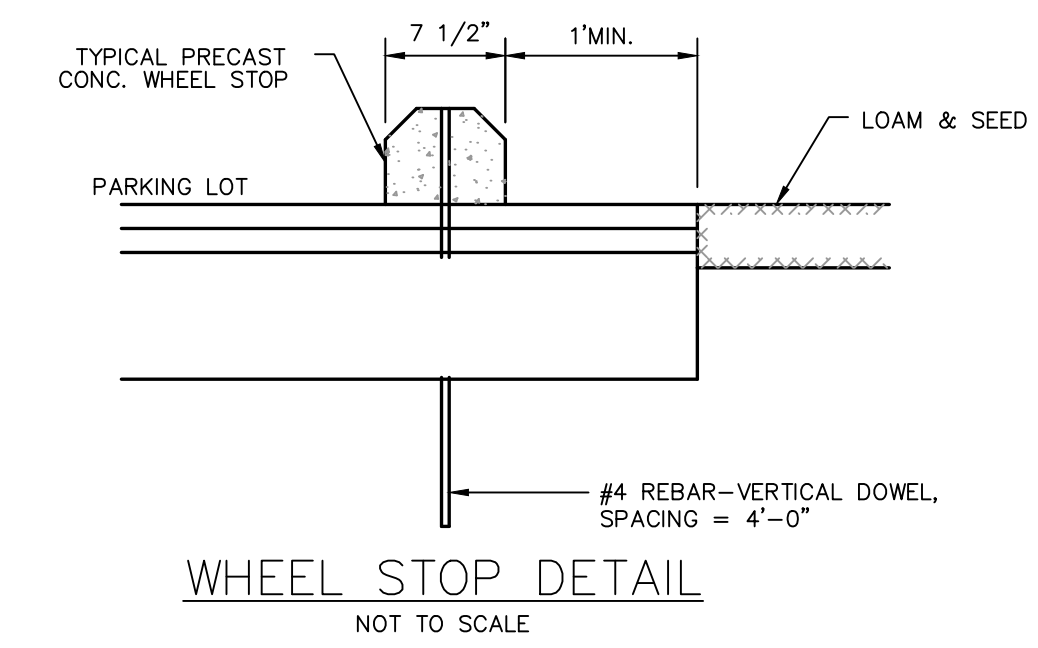
DUMPSTER WALL SECTION
SCALE: N.T.S.



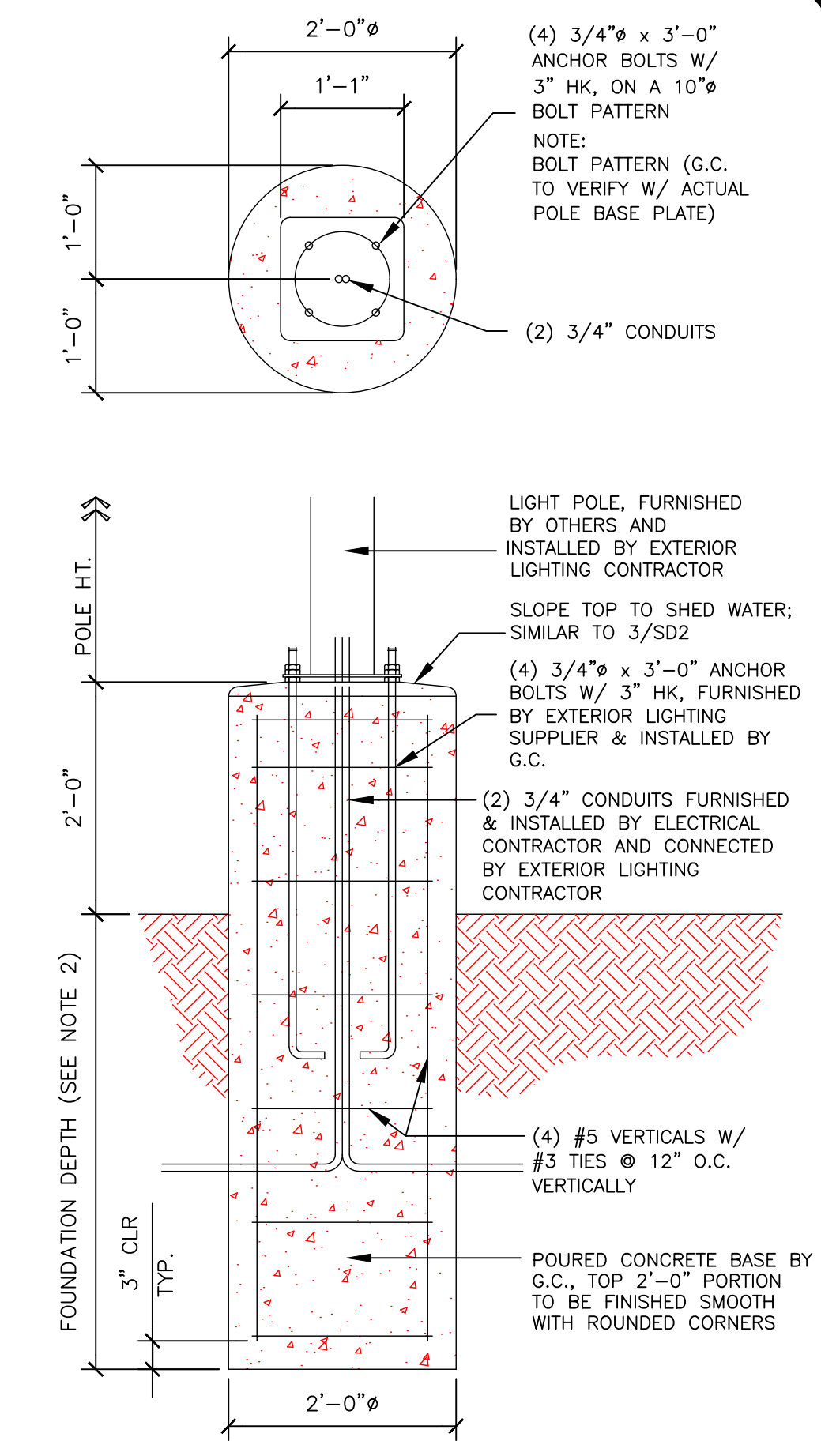
TYPICAL SECTION-REINFORCED RETAINING WALL
MODULAR CONCRETE UNIT
SCALE: NONE



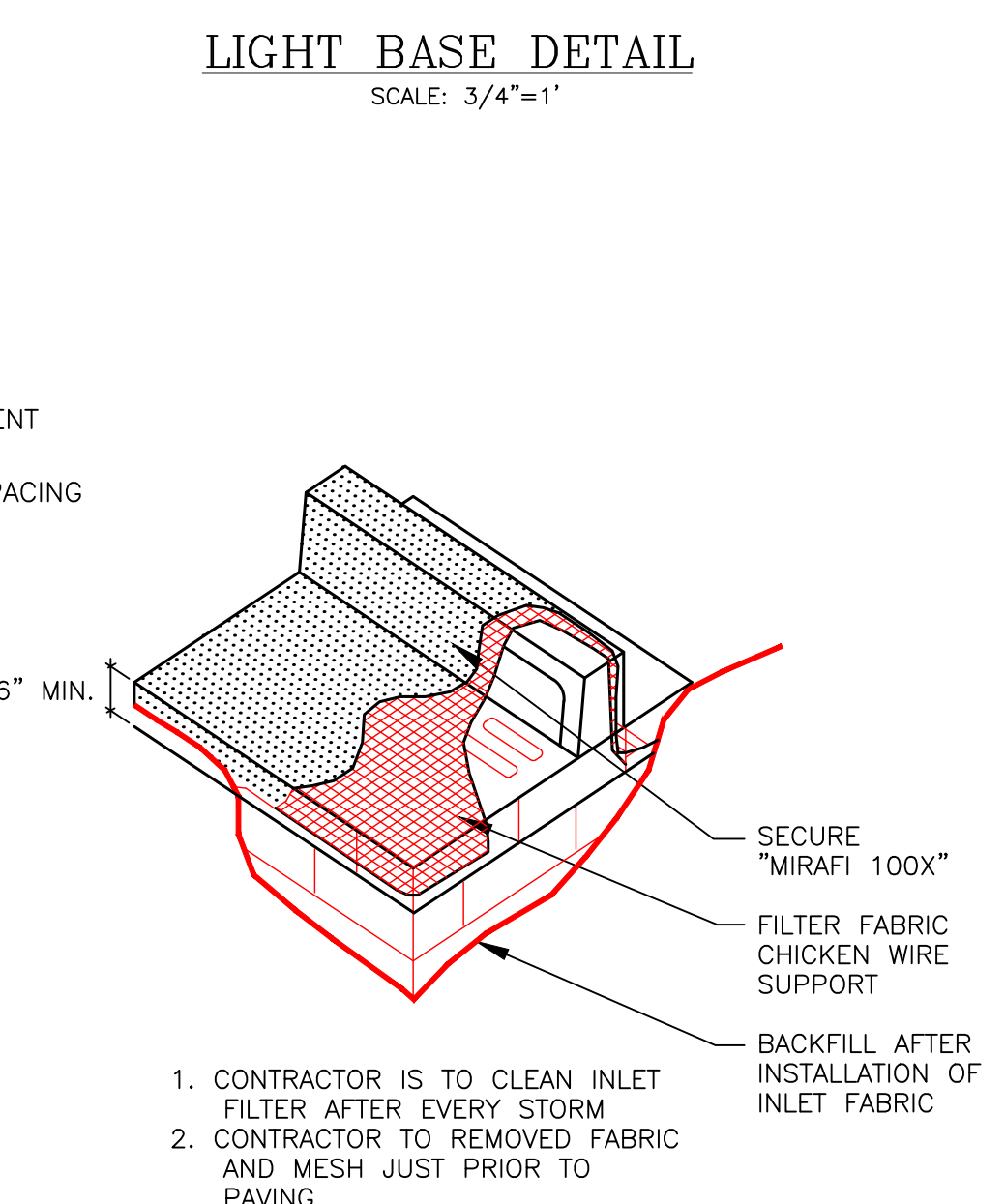
ONSITE CONCRETE & PARKING AREA PAVING DETAIL
NOT TO SCALE



WHEEL STOP DETAIL
NOT TO SCALE



LIGHT BASE DETAIL
SCALE: 3/4\"/>



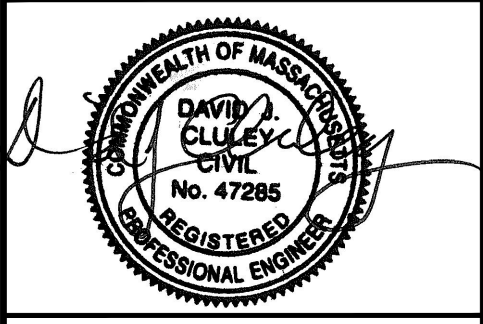
INLET FILTER DETAIL

NOTE:
PARKING AREAS PAVING SPECIFICATIONS FOR PARKING SPACE (9'x18' AREA) ONLY.

- NOTES:**
- IF THE EXISTING EARTH IS NON-VIRGIN FILL MATERIAL OR OTHERWISE UNSUITABLE TO SUPPORT THE BASE AND LIGHT, CONSULT THE PROJECT ENGINEER PRIOR TO PLACING CONCRETE.
 - FOUNDATION DEPTH AS REQUIRED BY CODE OR TO ACHIEVE ADEQUATE SOIL BEARING CAPACITY, (5' DEPTH MINIMUM).
 - IF OPTIONAL TAPERED STEEL BASE IS USED, FILL 2'-0" BASE WITH CONCRETE TO FORM TOP 2'-0" PORTION OF LIGHT POLE BASE.

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM
- CONTRACTOR TO REMOVED FABRIC AND MESH JUST PRIOR TO PAVING.

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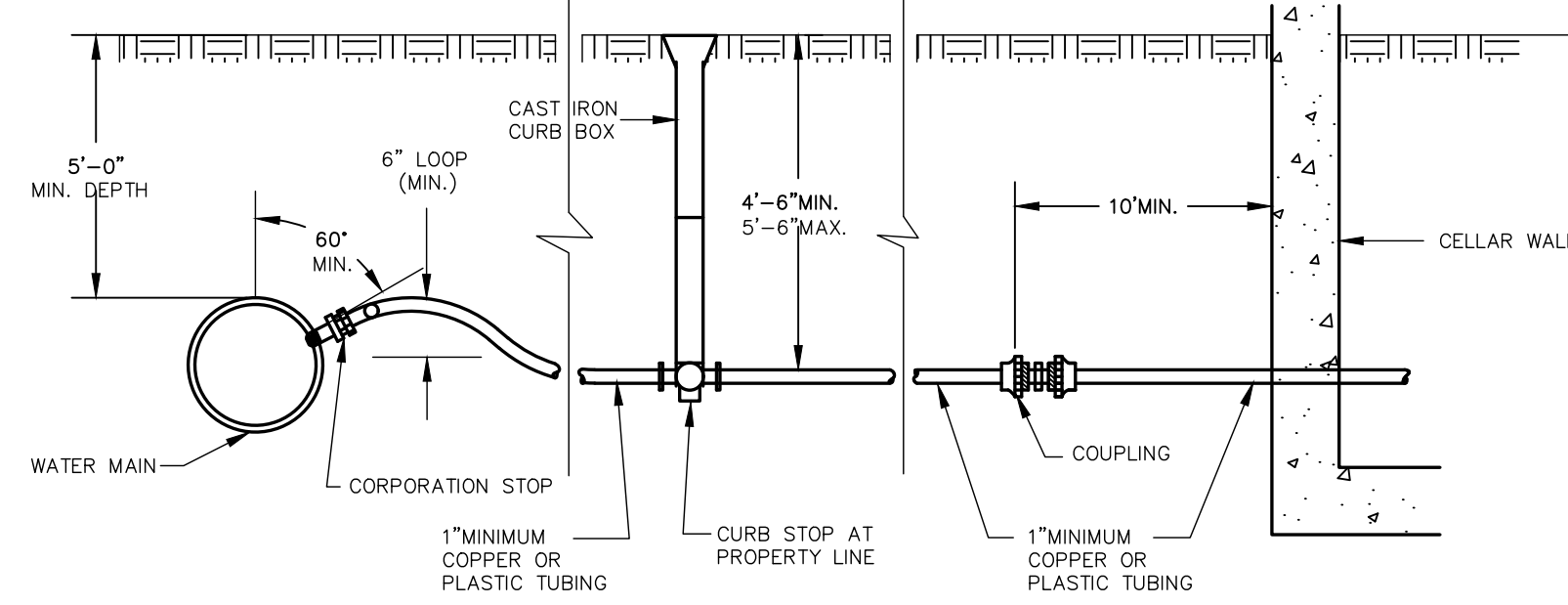
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CLIENT: Priscilla-Sofia Realty Trust

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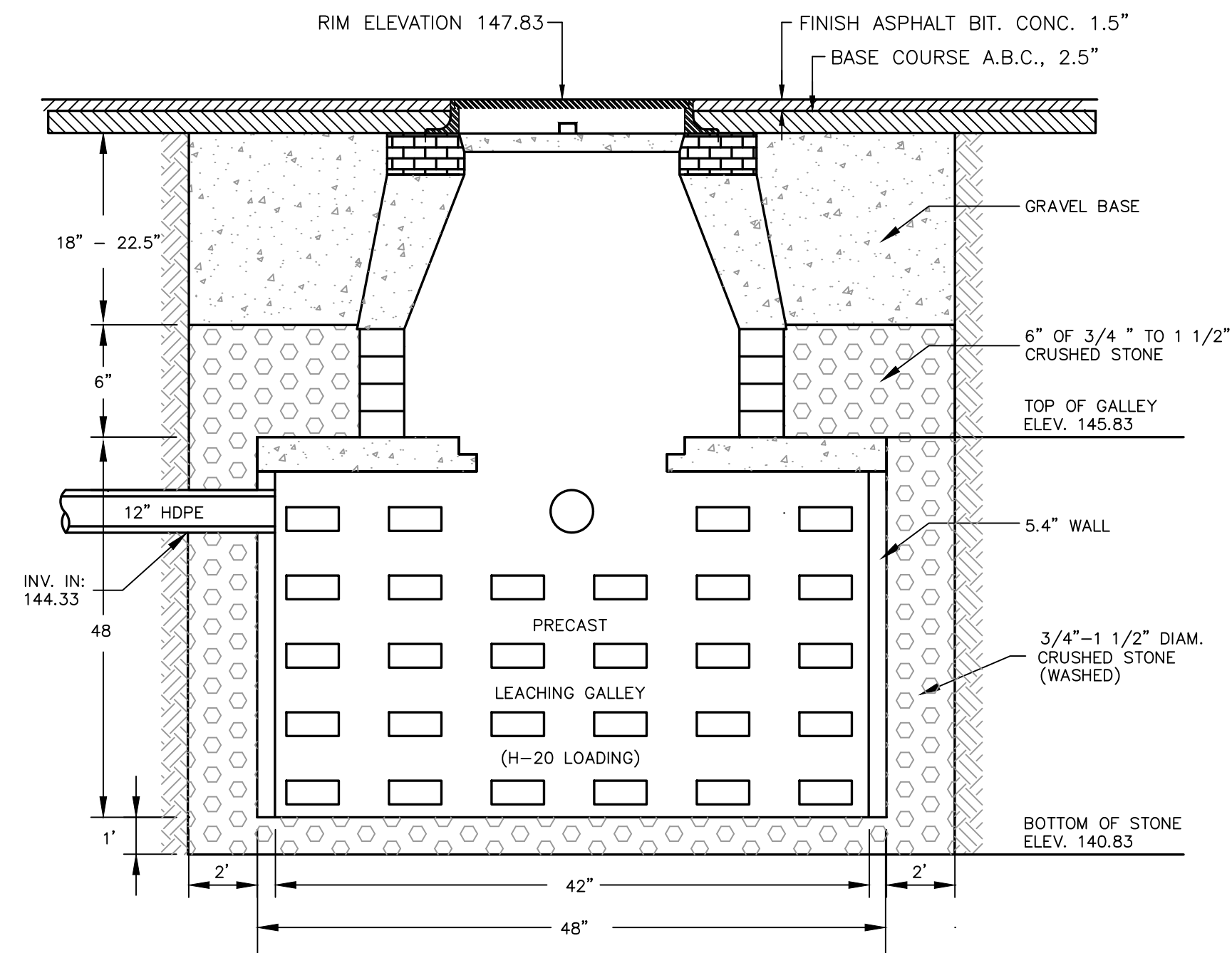
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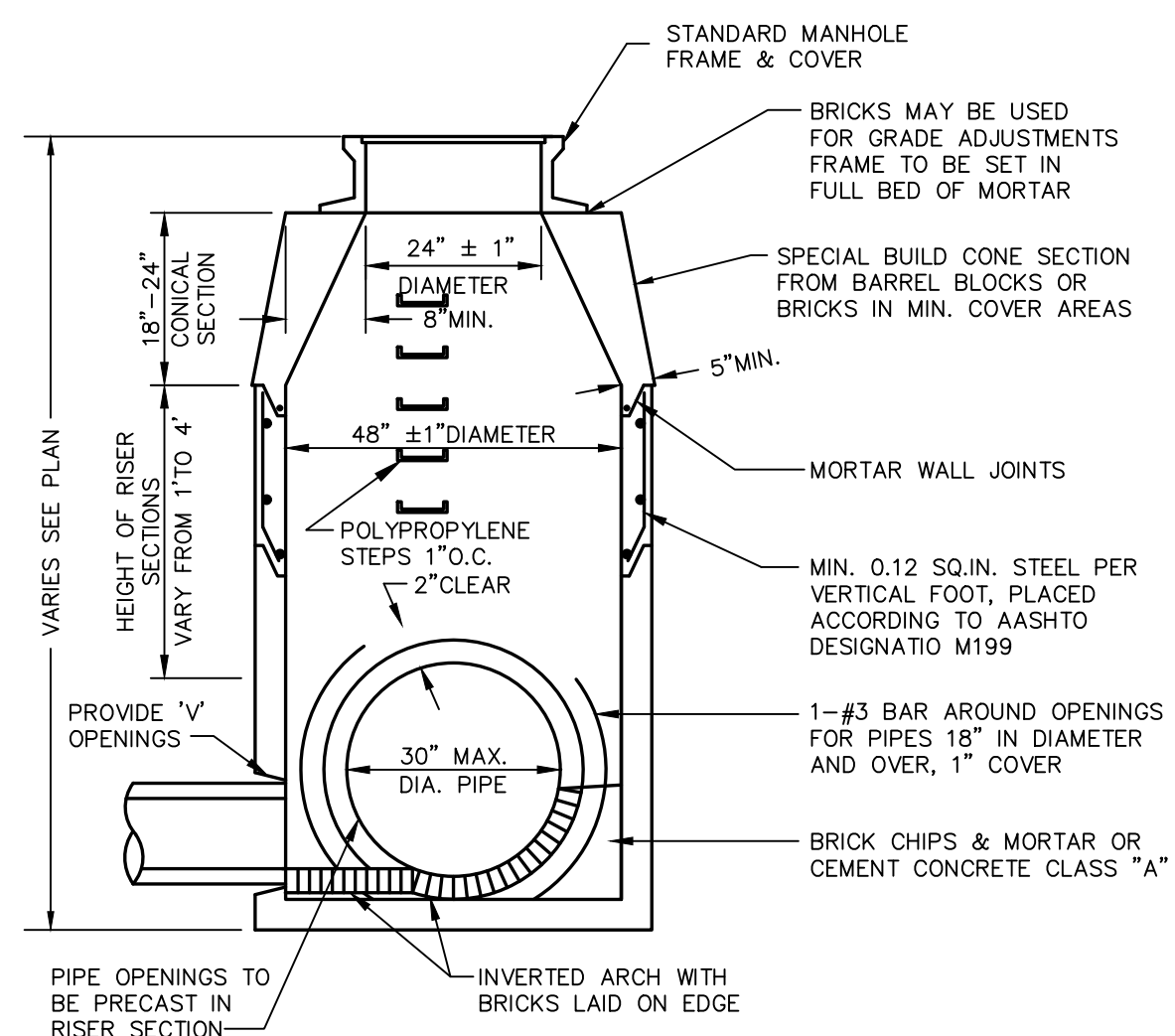
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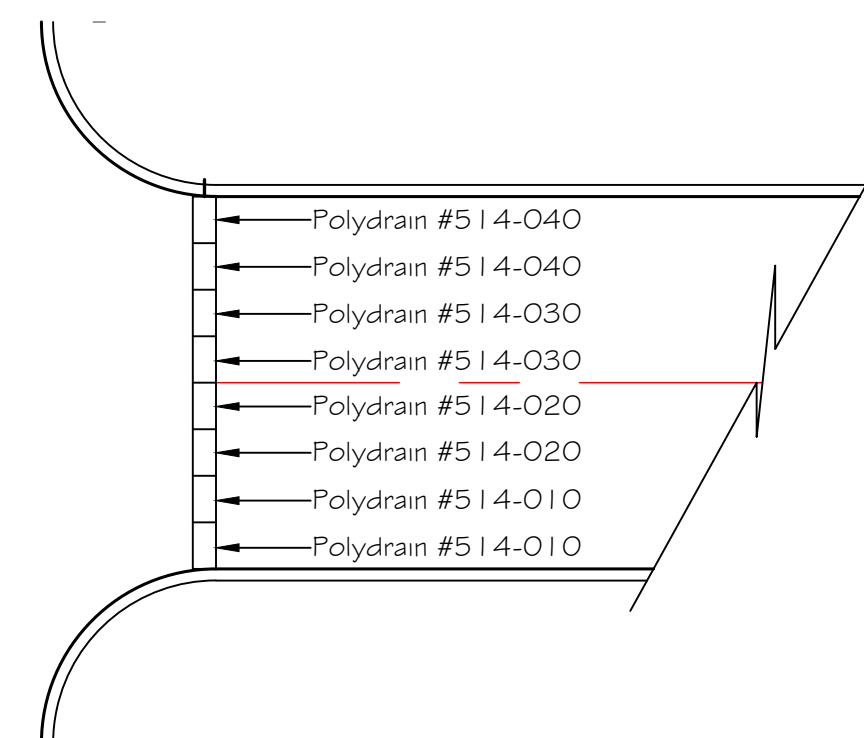
WATER SERVICE DETAIL
NOT TO SCALE



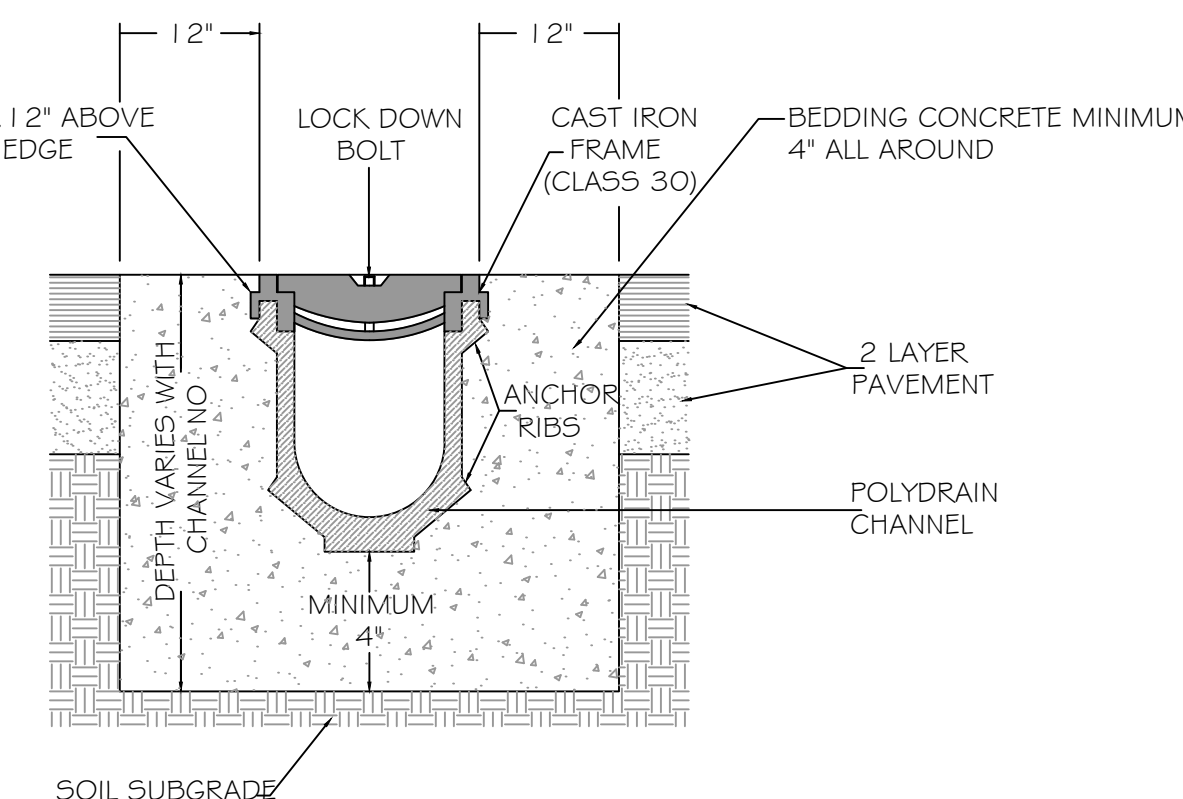
4*4*4 LEACHING GALLEY DETAIL
NOT TO SCALE



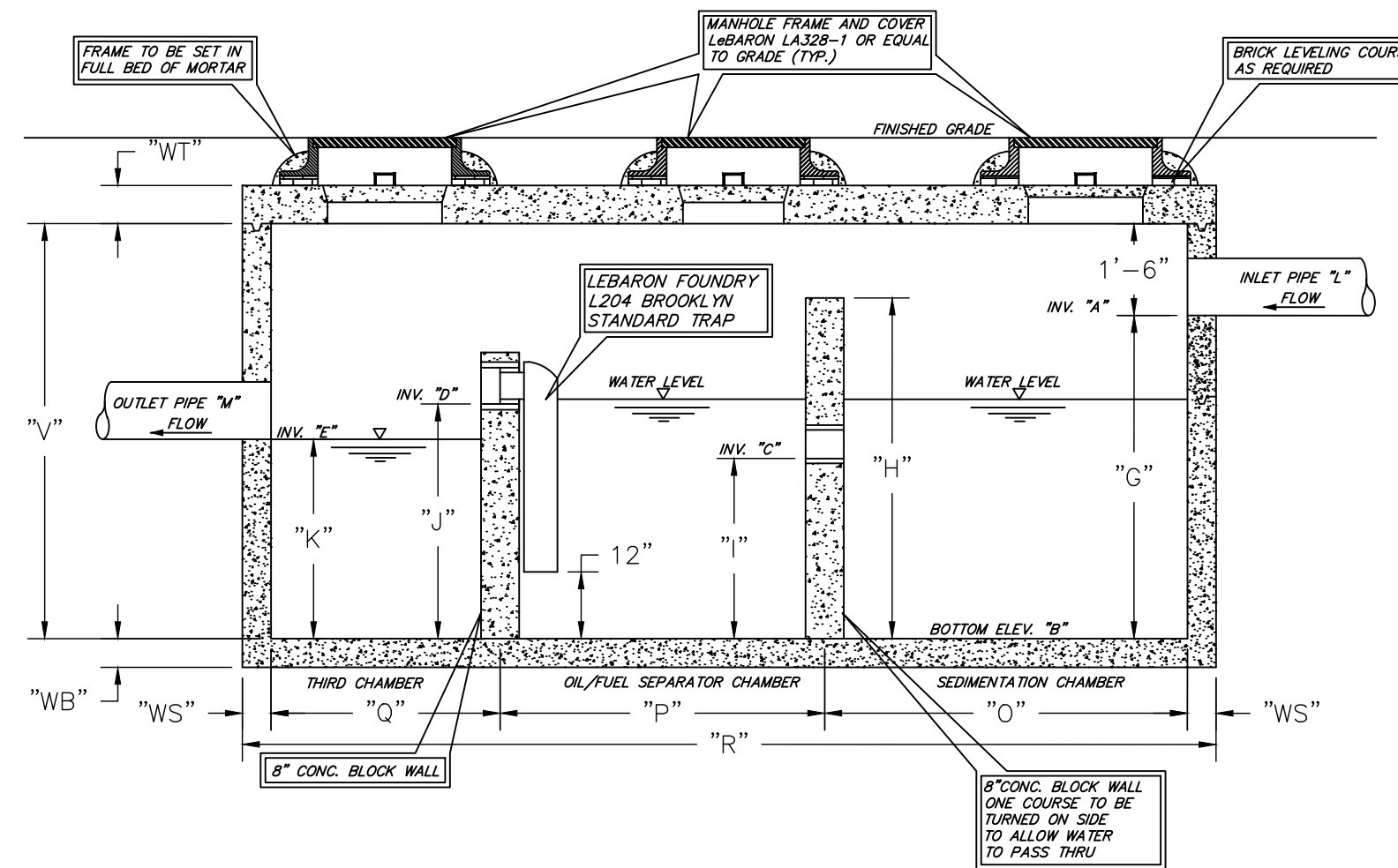
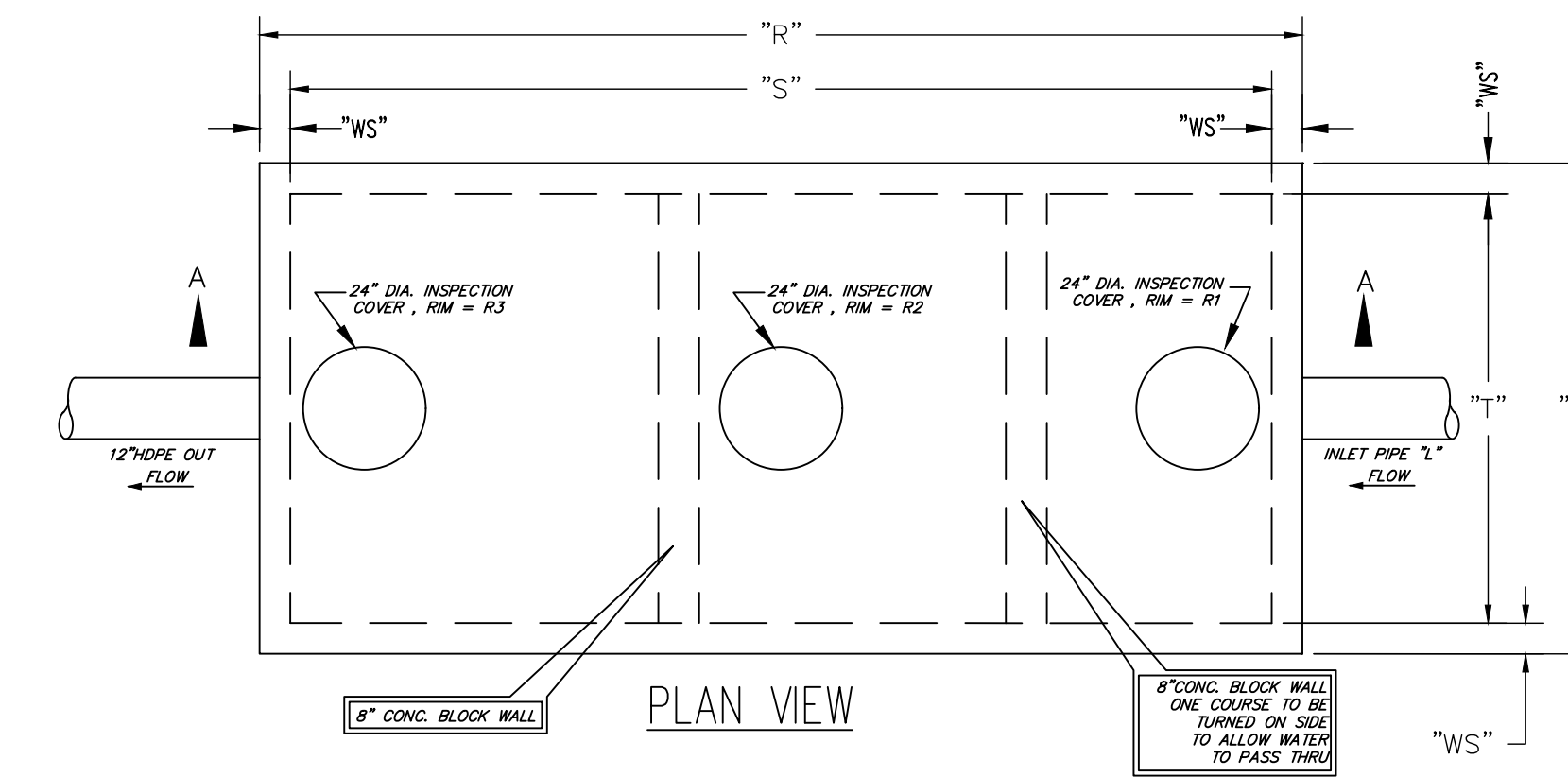
PRECAST CONCRETE MANHOLE
NOT TO SCALE



POLYDRAIN LAYOUT PLAN
NOT TO SCALE



POLYDRAIN DETAIL
NOT TO SCALE

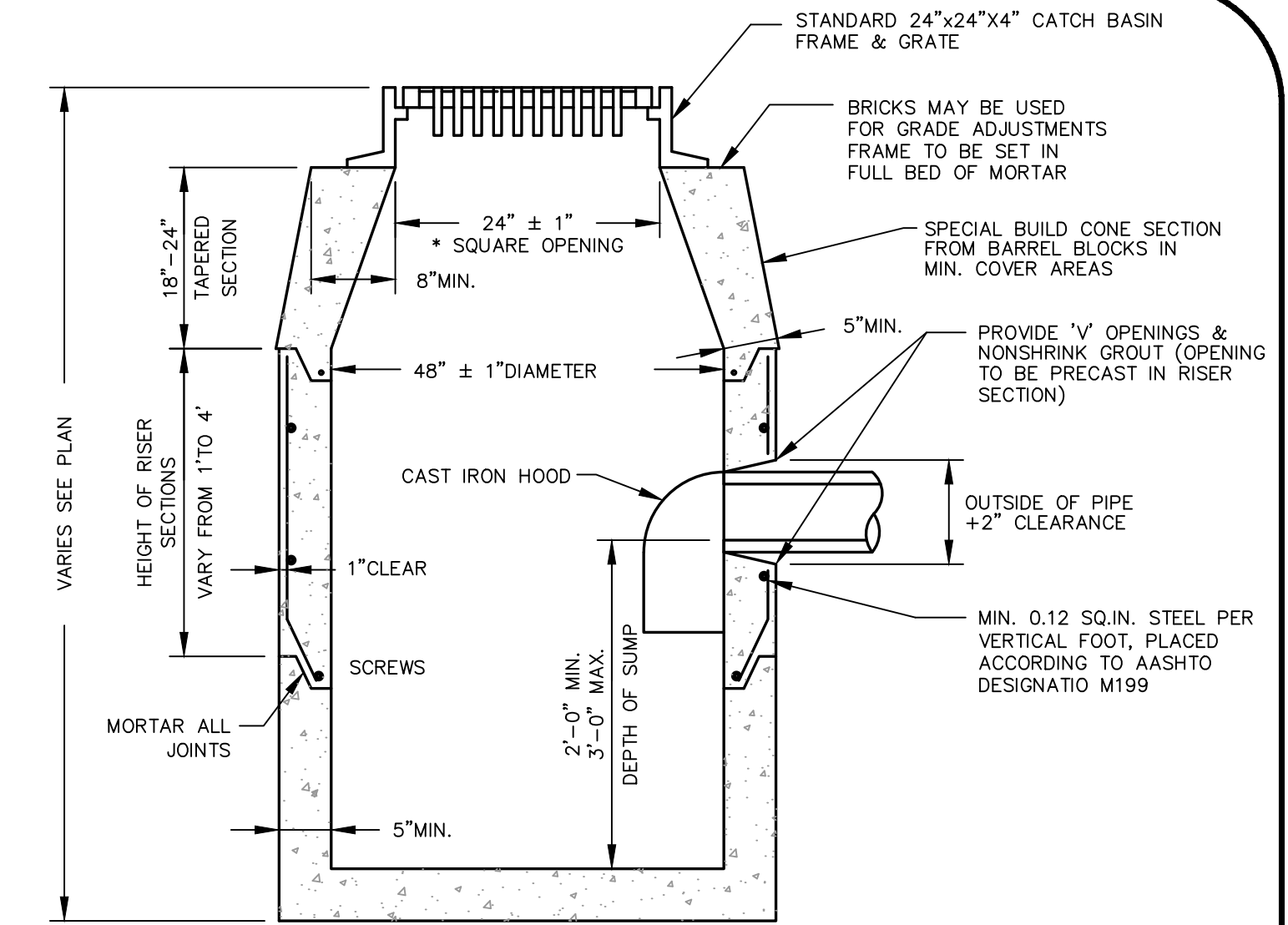


- GRIT CHAMBER SPECIFICATIONS:**
- 1.) CONCRETE MINIMUM STRENGTH - 5000 P.S.I. @ 28 DAYS
 - 2.) STEEL REINFORCEMENT - ASTM A-615-75, GRADE 60, 1" MIN. COVER
 - 3.) CONSTRUCTION JOINT - SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT
 - 4.) GRIT CHAMBER CAPACITY = SEE SHEET 6 & CHART BELOW.

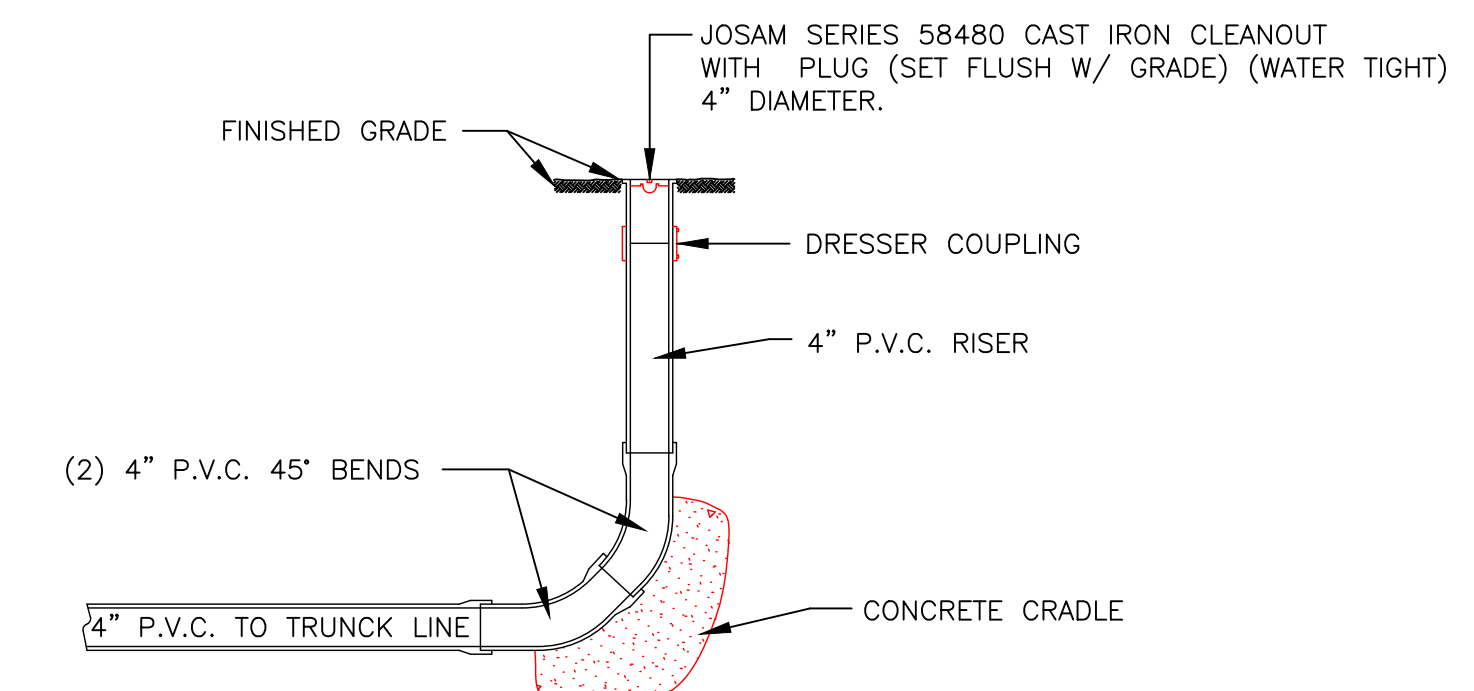
GRIT CHAMBER DETAIL
NOT TO SCALE

GRIT CHAMBER	MODEL NUMBER	CAPACITY	INV. IN "A"	BOT. ELEV. "B"	FLOW THRU "C"	FUEL TRAP INV "D"	INV. OUT "E"	OVERFLOW INV "F"
GC-1	STC-2000	2,000 GAL	144.38	139.55	142.55	144.30	144.38	N/A
GRIT CHAMBER	"G"	"H"	"I"	"J"	"K"	INLET "L"	OUTLET "M"	OVERFLOW "N"
GC-1	4'-10"	5'-0"	3'-0"	4'-9"	4'-7"	12"	12"	N/A
GRIT CHAMBER	"O"	"P"	"Q"	"R"	"S"	"T"	"U"	"V"
GC-1	3'-0"	4'-0"	3'-0"	11'-0"	10'-0"	5'-0"	6'-0"	6'-4"
GRIT CHAMBER	"WT"	"WB"	"WS"	RIM "R1"	RIM "R2"	RIM "R3"		
GC-1	0'-6"	0'-6"	0'-6"	147.14	146.86	146.86		

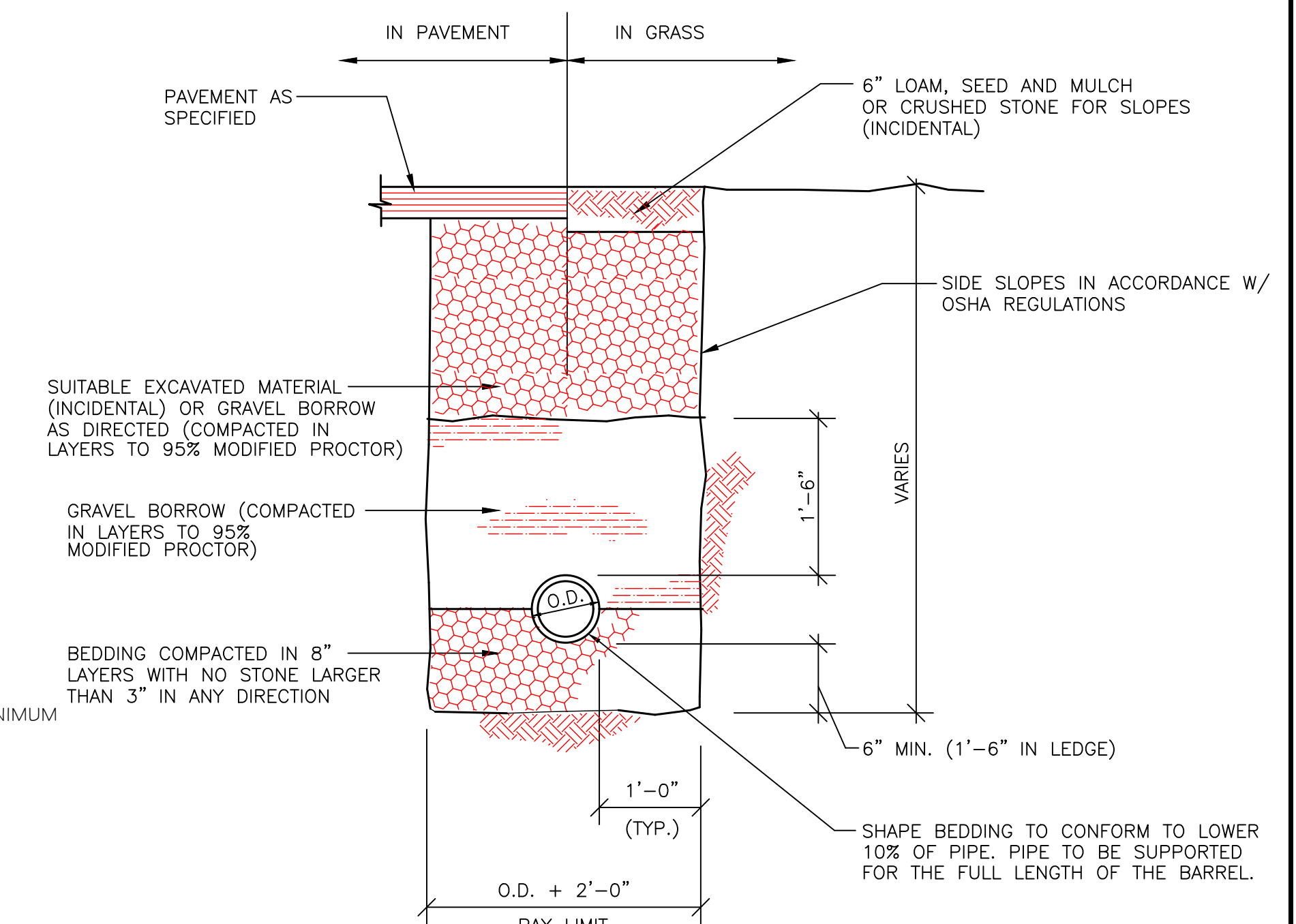
GRIT CHAMBER TABLE



PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



CLEANOUT DETAIL
NOT TO SCALE



ONSITE PIPE TRENCH DETAIL
NOT TO SCALE

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