

SITE PLANS

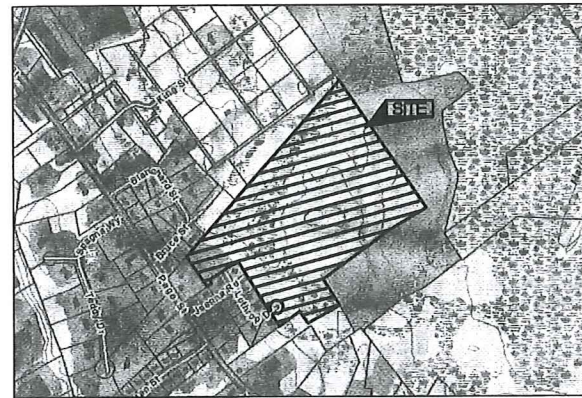
CHAPTER 40B - JOANNA HILLS ESTATES

JOANNA ROAD ASSESSORS MAP C7 BLOCK 3 PLOT 15 AVON, MASSACHUSETTS

AUGUST 8, 2019

SHEET INDEX: SITE CIVIL

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LOCUS MAP
NOT TO SCALE

PROJECT CONTACTS:

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32 NORFOLK AVENUE
SOUTH EASTON, MA 02375



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MBL

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PROJ. No.: 2016-002
DATE: AUGUST 8, 2019

C-1.0

LUCS: X:\2016\002\CIVIL\Plot\2016-002 Site Plans 07102019.dwg 8/8/2019 2:19:34 PM EDT
 LMAN: CTB:
 MS VIEW:

LEGEND

EXIST.	PROP.	
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
---	---	WETLANDS
---B-25---	---	25' WETLAND PROTECTION ZONE
---B-100---	---	100' BUFFER ZONE
---	---	FLOOD ZONE
---	---	CHAIN LINK FENCE
---	---	ABUTTERS LINE
---	---	CONTOUR
---	---	EDGE OF PAVEMENT
---	---	WOODEN STOCKADE FENCE
---	---	STATIONING
---	---	CURBING
---	---	WATER LINE
---	---	SEWER LINE
---	---	GAS LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	DRAINAGE LINE
---	---	TREELINE
⑩	⑩	LOT NUMBER
⊙	⊙	SEWER MANHOLE
⊙	⊙	DRAIN MANHOLE
⊙	⊙	ELECTRIC MANHOLE
WF-#	WF-#	WETLAND FLAG
⊙	⊙	HYDRANT
⊙	⊙	WATER GATE/ SHUTOFF
⊙	⊙	CATCH BASIN
⊙	⊙	UTILITY POLE
⊙	⊙	TEST PIT
▨	▨	LEDGE OUTCROP
▨	▨	BUILDING
▨	▨	WETLAND SYMBOL

ABBREVIATIONS

CONC.	=	CONCRETE
TYP	=	TYPICAL
EL	=	ELEVATION
VGC	=	VERTICAL GRANITE CURB
EQP	=	EDGE OF PAVEMENT
BVW	=	BORDERING VEGETATED WETLAND
WPZ	=	WETLAND PROTECTION ZONE
FES	=	FLARED END SECTION
DMH	=	DRAIN MANHOLE
WQU	=	WATER QUALITY UNIT
CCB	=	CAPE COD BERM
CB	=	CATCH BASIN
BIT. CONC.	=	BITUMINOUS CONCRETE

GENERAL NOTES

- EXISTING CONDITIONS INFORMATION**
 - OWNER: SVA REALTY TRUST (WSAM R. OVRAN) BOOK 34405 PAGE 471 ASSESSORS MAP C7 BLOCK 3 LOT 15
 - THIS SITE IS COMPRISED OF ASSESSORS MAP C7 BLOCK 3 PLOT 15. THIS LOT IS LOCATED WITHIN THE RESIDENTIAL B ZONE AS DETERMINED BY THE TOWN OF AVON ZONING MAP.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
 - COMMUNITY PANEL NUMBER 25021C0218E, PANEL 213 OF 430 THE FLOOD INSURANCE RATE MAP DEFINES A MAJORITY OF THE SITE AS FLOOD ZONE X WITH A MINORITY PORTION AS FLOOD ZONE A, AREAS OF 100-YR FLOOD WITH BASE FLOOD ELEVATIONS NOT DETERMINED, DATED JULY 17, 2012.
 - THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION, PLANS, AN ACTUAL ON THE GROUND FIELD SURVEY AND WETLAND FLAGGING BY THIS FIRM AND LSC ENVIRONMENTAL CONSULTING APRIL 2016 AND APPROVED BY THE AVON CONSERVATION COMMISSION ON JUNE 8, 2017 WITH AN ORD.
 - ALL TOPOGRAPHICAL AND UTILITY INFORMATION IS FOR GRAPHICAL PURPOSES ONLY. CONTOURS ARE BASED ON 2011 LIDAR DATA FROM MASSGIS.
 - THE DRAINAGE EASEMENT SHOWN HEREON IS BASED ON A DESCRIPTION IN DEED BOOK 4735 PAGE 187.
- MATERIALS**
 - CURBING:**
ALL CURBING SHALL BE CAPE COD CURB (CCB) UNLESS NOTED OTHERWISE.
 - ROADWAYS:**
BITUMINOUS PAVEMENT SHALL MEET THE REQUIREMENTS OF SECTION 400 OF THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION, REVISIONS AND ALL CURRENT ADDENDA.

STANDARD:
SURFACE COURSE: 1.5 INCHES BITUMINOUS CONCRETE
BINDER COURSE: 2.5 INCHES BITUMINOUS BINDER
BASE COURSE: 12.0 INCHES COMPACTED GRAVEL: 6" OF GRADED GRAVEL AND 6" OF 3/4" PROCESSED GRAVEL.
 - LANDSCAPE AREAS:**
ALL SURFACED AREAS OR DISTURBED AREAS NOT SPECIFIED ON THE LANDSCAPE PLAN SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SEED, MULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

GENERAL CONSTRUCTION REQUIREMENTS

- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE MASSACHUSETTS HIGHWAY DEPARTMENT AND THE TOWN OF AVON.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER/OWNER.
- CONTRACTOR TO CONFIRM AND VERIFY THE VALIDITY, LOCATION, MATERIAL, AND AVAILABILITY TO USE EXISTING UTILITIES ON OR NEAR THE PROJECT SITE PROPERTY. CONTRACTOR TO LOCATE EXISTING UTILITIES AND CONFIRM SAID UTILITIES WITH ALL APPLICABLE MUNICIPALITIES AND UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. ONCE UTILITIES HAVE BEEN CONFIRMED IN THE FIELD BY CONTRACTOR AND VERIFIED BY APPLICABLE MUNICIPALITY AND UTILITY COMPANY AND CONNECTION HAS BEEN APPROVED BY ENTITY, ONLY THEN SHALL CONTRACTOR CONSTRUCT AND UTILIZE THESE UTILITIES. CONTRACTOR TO IMMEDIATELY INFORM ENGINEER OF RECORD OF ANY DEVIATIONS TO PLANS.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT AND THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT THEIR EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION'S REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION AND BACKFILL OF ELECTRICAL FURNISHED SITE WORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS AND CONSTRUCTION. BUILDING DIMENSIONS ARE SHOWN FOR COORDINATION WITH OTHER SITE WORK ONLY AND SHOULD NOT BE USED TO STAKE OUT BUILDINGS. SITE CONTRACTOR SHALL STAKE OUT THE EXTERIOR BUILDING CORNERS FROM THE LATEST ARCHITECTURAL PLANS. THE CONTRACTOR SHALL NOTIFY MBL LAND DEVELOPMENT & PERMITTING, CORP. OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND ARCHITECTURAL BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE EFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY. ALSO, NO BARK MULCH IS ALLOWED IN THE LANDSCAPE AREAS WITHIN 18-INCHES OF THE BUILDING FOUNDATION WALL AT ANY TIME.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER." THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING A PROTECTIVE BARRIER AROUND THE SITE PRIOR TO AND DURING CONSTRUCTION.

STORM WATER MAINTENANCE PROGRAM

- IMMEDIATELY PRIOR TO THE END OF CONSTRUCTION OR ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL INSPECT ALL COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM AND CLEAN AND FLUSH AS NECESSARY.
- ALL COMPONENTS OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED QUARTERLY AND CLEANED AS NECESSARY. ALL SEDIMENTS AND HYDROCARBONS SHOULD BE PROPERLY HANDLED AND DISPOSED, IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS.
- REPAIRS OR REPLACEMENT OF ANY ELEMENTS OF THE STORMWATER MANAGEMENT SYSTEM SHOULD BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT MUST BE DONE IMMEDIATELY TO AVERT FAILURE OR DANGER TO NEARBY RESIDENTS.

No.	DATE	DESCRIPTION	BY
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PROJ. MANAGER:	MBL
CHIEF DESIGNER:	MBL
REVIEWED BY:	DATE



PREPARED FOR
STONEBRIDGE HOMES, INC.
 32 NORFOLK AVENUE
 SOUTH EASTON MASSACHUSETTS

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	VERT.:	
DATUM:	HORZ.:	
	VERT.:	
GRAPHIC SCALE		

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SITE PLANS
GENERAL NOTES & LEGEND
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
C-2.0

SITE LAYOUT & MATERIALS PLAN C-4.0
 GRADING & DRAINAGE PLAN C-5.0
 UTILITY PLAN C-6.0
 EXISTING CONDITIONS PLAN C-13.0

SITE LAYOUT & MATERIALS PLAN C-4.1
 GRADING & DRAINAGE PLAN C-5.1
 UTILITY PLAN C-6.1
 EXISTING CONDITIONS PLAN C-13.1



BUILDING TABULATION	
SINGLE FAMILY HOMES/LOTS =	80
TOTAL AREA OF LAND =	29.37 ACRES
TOTAL UPLAND AREA =	19.86 ACRES
TOTAL WETLANDS =	9.51 ACRES
PARKING CALCULATIONS	
TOTAL ON GROUND PARKING =	160 SPACES
TOTAL PARKING IN GARAGE(2 PER HOUSE) =	160 SPACES
TOTAL PARKING PROVIDED =	320 SPACES
OPEN SPACE/MAX COVERAGE	
TOTAL IMPERVIOUS AREA(PAVE+BLDG)=	6.69 ACRES=22.77%
TOTAL OPEN SPACE/LANDSCAPE AREA=	13.17 ACRES=44.84%
TOTAL OPEN SPACE/LANDSCAPE AREA (INCLUDING WETLANDS) =	22.67 ACRES = 77.18%
SEPTIC SYSTEM DESIGN TOTAL NUMBER OF BEDROOMS	
SINGLE FAMILY HOMES = 80 * 3 BEDS =	240 BEDS
TOTAL GALLONS PER DAY =	240 * 110 = 26,400 GPD

ASSESSORS MAP C7-3 PLOT 15
 TOTAL AREA = 29.37 ACRES
 TOTAL UPLAND AREA = 19.86 ACRES
 TOTAL WETLANDS = 9.51 ACRES

SITE LAYOUT & MATERIALS PLAN C-4.2
 GRADING & DRAINAGE PLAN C-5.2
 UTILITY PLAN C-6.2
 EXISTING CONDITIONS PLAN C-13.2

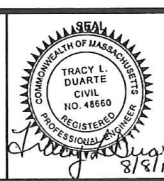
SITE LAYOUT & MATERIALS PLAN C-4.3
 GRADING & DRAINAGE PLAN C-5.3
 UTILITY PLAN C-6.3
 EXISTING CONDITIONS PLAN C-13.3

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 32 NORFOLK AVENUE
 SOUTH EASTON MASSACHUSETTS

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SITE PLANS
 INDEX SHEET
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 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

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 DATE: AUGUST 8, 2019
C-3.0



MATCHLINE - SHEET C-4.1

N/F
JEFFEREY
SEIDEL
ASSESSORS MAP C7
BLOCK 3 PLOT 29
DEED BK. 7937 PG. 64

ASSESSORS MAP C7-3 PLOT 15
TOTAL AREA = 29.37±ACRES
TOTAL UPLAND AREA = 19.86±ACRES
TOTAL WETLANDS = 9.51± ACRES

N/F
REALTY TRUST
ASSESSORS MAP B7
BLOCK 8 PLOT 4
DEED BK. 7386 PG. 617

PROPOSED TREELINE

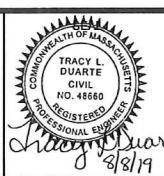
N/F
WENDELL
MATTHEWS
ASSESSORS MAP B7

MATCHLINE - SHEET C-4.2

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SOUTH EASTON MASSACHUSETTS

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AVON MASSACHUSETTS

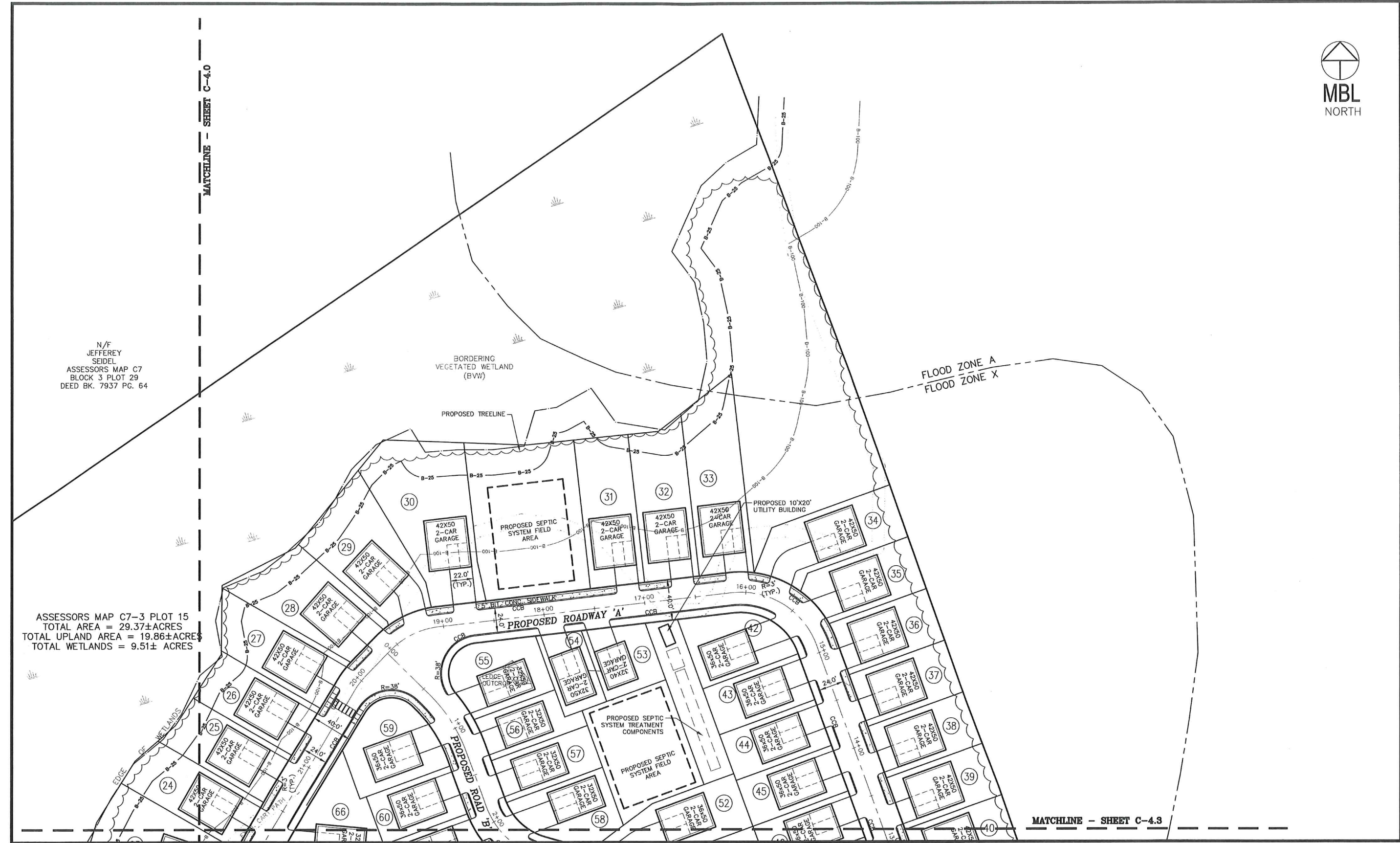
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MATCHLINE - SHEET C-4.0

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JEFFEREY
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DEED BK. 7937 PG. 64

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MATCHLINE - SHEET C-4.3

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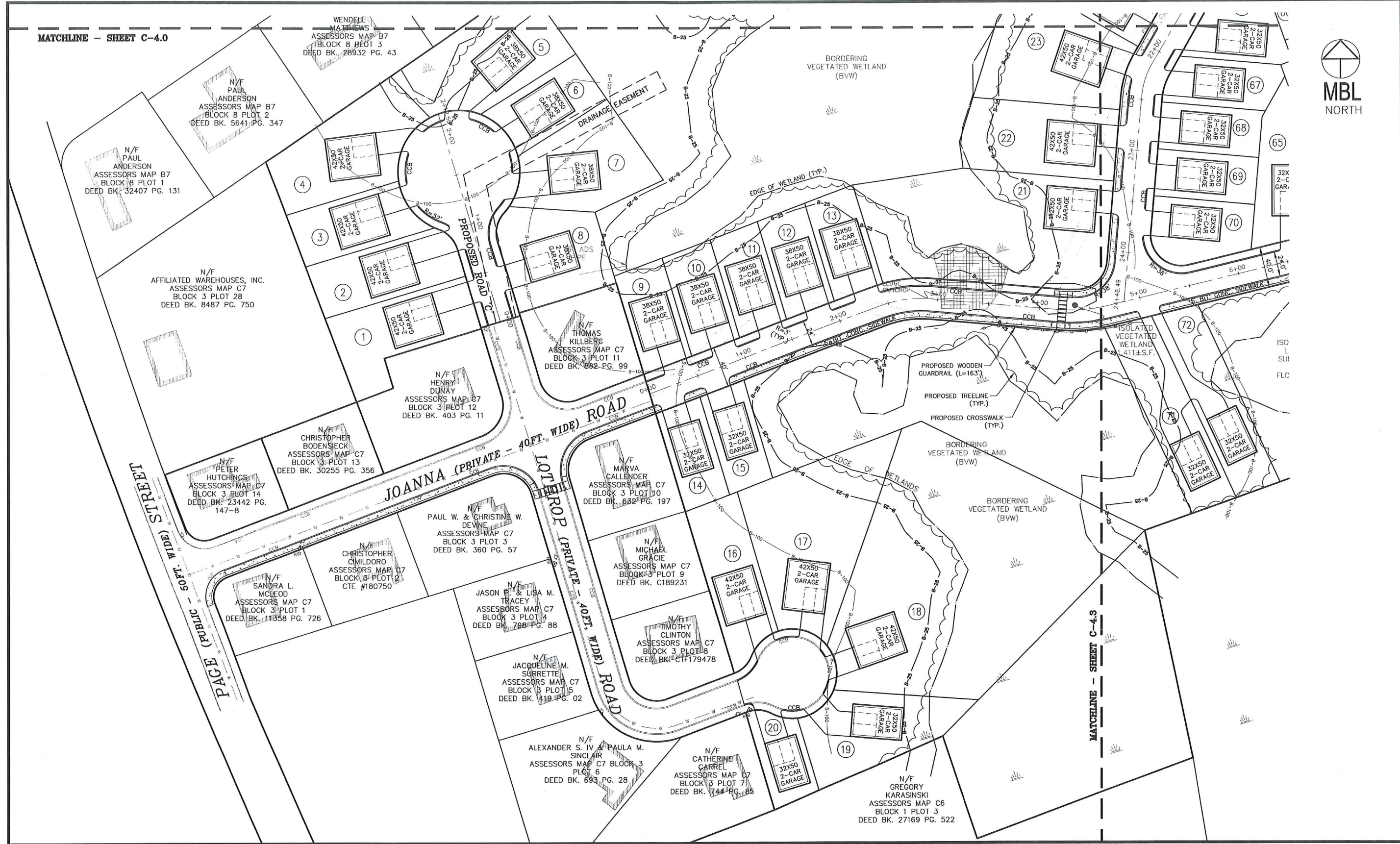
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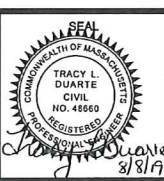
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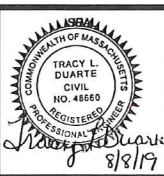


N/F
TOWN OF AVON
ASSESSORS MAP C7
BLOCK 3 PLOT 27
DEED BK. 5908 PG. 20

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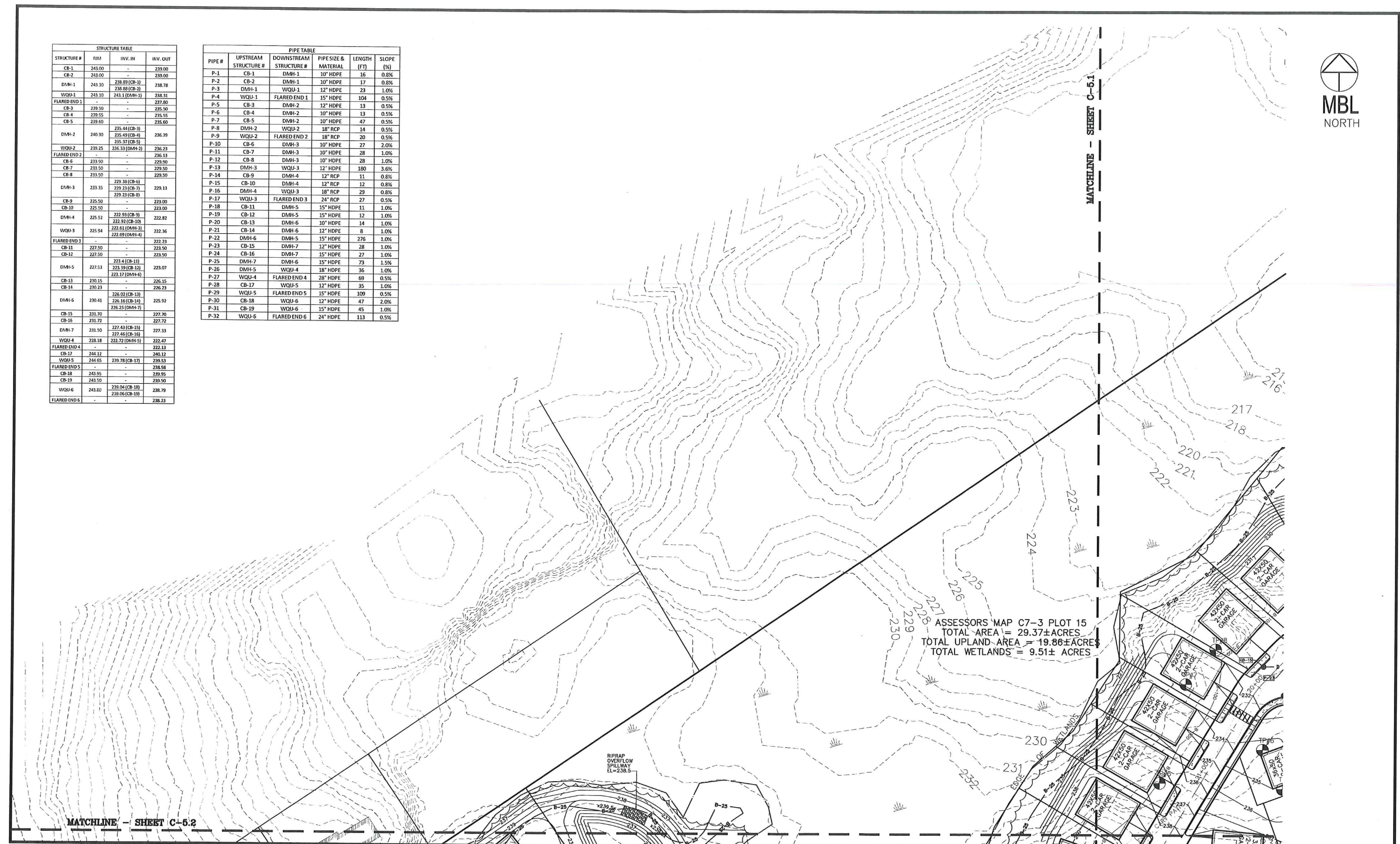
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C-4.3



STRUCTURE TABLE			
STRUCTURE #	RIM	INV. IN	INV. OUT
CB-1	243.00	-	239.00
CB-2	243.00	-	239.00
DMH-1	243.30	238.89 (CB-1)	238.78
WQU-1	243.10	243.1 (DMH-1)	238.31
FLARED END 1	-	-	237.60
CB-3	239.50	-	235.50
CB-4	239.55	-	235.55
CB-5	239.60	-	235.60
DMH-2	240.30	235.44 (CB-3)	236.39
		235.49 (CB-4)	
		235.37 (CB-5)	
WQU-2	239.25	236.33 (DMH-2)	236.23
FLARED END 2	-	-	236.13
CB-6	233.00	-	229.50
CB-7	233.50	-	229.50
CB-8	233.50	-	229.50
DMH-3	233.35	229.33 (CB-6)	229.13
		229.23 (CB-7)	
		229.23 (CB-8)	
CB-9	225.50	-	223.00
CB-10	225.50	-	223.00
DMH-4	225.52	222.93 (CB-9)	222.82
		222.92 (CB-10)	
		222.81 (DMH-4)	
WQU-3	225.94	222.69 (DMH-4)	222.36
FLARED END 3	-	-	222.33
CB-11	227.50	-	223.50
CB-12	227.50	-	223.50
DMH-5	227.53	223.4 (CB-11)	223.07
		223.39 (CB-12)	
		223.17 (DMH-5)	
CB-13	230.15	-	226.15
CB-14	230.23	-	226.23
DMH-6	230.41	226.02 (CB-13)	225.92
		226.16 (CB-14)	
		226.25 (DMH-6)	
CB-15	231.70	-	227.70
CB-16	231.72	-	227.72
DMH-7	231.50	227.43 (CB-15)	227.33
		227.46 (CB-16)	
WQU-4	228.18	222.72 (DMH-7)	222.47
FLARED END 4	-	-	222.13
CB-17	244.12	-	240.12
WQU-5	244.65	239.78 (CB-17)	239.53
FLARED END 5	-	-	239.58
CB-18	243.95	-	239.95
CB-19	243.50	-	239.50
WQU-6	243.60	239.04 (CB-18)	238.79
		239.06 (CB-19)	
FLARED END 6	-	-	238.23

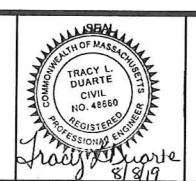
PIPE TABLE					
PIPE #	UPSTREAM STRUCTURE #	DOWNSTREAM STRUCTURE #	PIPE SIZE & MATERIAL	LENGTH (FT)	SLOPE (%)
P-1	CB-1	DMH-1	10" HDPE	16	0.8%
P-2	CB-2	DMH-1	10" HDPE	17	0.8%
P-3	DMH-1	WQU-1	12" HDPE	23	1.0%
P-4	WQU-1	FLARED END 1	15" HDPE	104	0.5%
P-5	CB-3	DMH-2	12" HDPE	13	0.5%
P-6	CB-4	DMH-2	10" HDPE	13	0.5%
P-7	CB-5	DMH-2	10" HDPE	47	0.5%
P-8	DMH-2	WQU-2	18" RCP	14	0.5%
P-9	WQU-2	FLARED END 2	18" RCP	20	0.5%
P-10	CB-6	DMH-3	10" HDPE	27	2.0%
P-11	CB-7	DMH-3	10" HDPE	28	1.0%
P-12	CB-8	DMH-3	10" HDPE	28	1.0%
P-13	DMH-3	WQU-3	12" HDPE	180	3.6%
P-14	CB-9	DMH-4	12" RCP	11	0.8%
P-15	CB-10	DMH-4	12" RCP	12	0.8%
P-16	DMH-4	WQU-3	18" RCP	29	0.8%
P-17	WQU-3	FLARED END 3	24" RCP	27	0.5%
P-18	CB-11	DMH-5	15" HDPE	11	1.0%
P-19	CB-12	DMH-5	15" HDPE	12	1.0%
P-20	CB-13	DMH-6	10" HDPE	14	1.0%
P-21	CB-14	DMH-6	12" HDPE	8	1.0%
P-22	DMH-6	DMH-5	15" HDPE	276	1.0%
P-23	CB-15	DMH-7	12" HDPE	28	1.0%
P-24	CB-16	DMH-7	15" HDPE	27	1.0%
P-25	DMH-7	DMH-6	15" HDPE	73	1.5%
P-26	DMH-5	WQU-4	18" HDPE	36	1.0%
P-27	WQU-4	FLARED END 4	28" HDPE	69	0.5%
P-28	CB-17	WQU-5	12" HDPE	35	1.0%
P-29	WQU-5	FLARED END 5	15" HDPE	109	0.5%
P-30	CB-18	WQU-6	12" HDPE	47	2.0%
P-31	CB-19	WQU-6	15" HDPE	45	1.0%
P-32	WQU-6	FLARED END 6	24" HDPE	113	0.5%



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	VERT.:
DATUM:	HORZ.:
	VERT.:

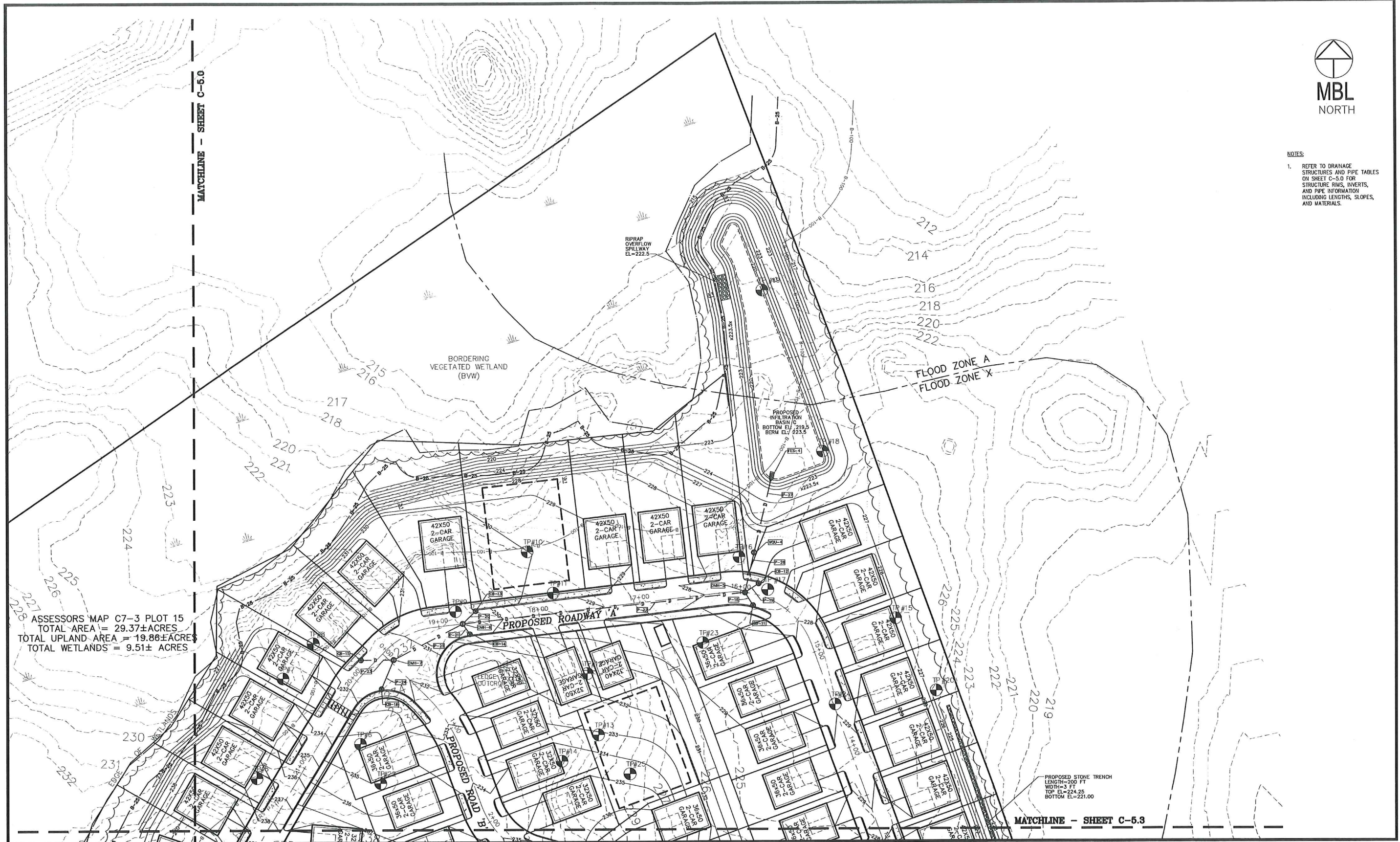
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SITE PLANS
GRADING & DRAINAGE PLAN
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
C-5.0



- NOTES:
- REFER TO DRAINAGE STRUCTURES AND PIPE TABLES ON SHEET C-5.0 FOR STRUCTURE RIMS, INVERTS, AND PIPE INFORMATION INCLUDING LENGTHS, SLOPES, AND MATERIALS.

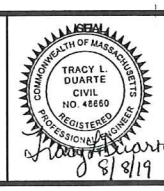


ASSESSORS MAP C7-3 PLOT 15
 TOTAL AREA = 29.37±ACRES
 TOTAL UPLAND AREA = 19.86±ACRES
 TOTAL WETLANDS = 9.51± ACRES

UCS: X:\2016\002\CIVIL\LOT_2016-002_Site Plans 07102019.dwg 8/8/2019 2:19:34 PM EDT
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 SOUTH EASTON MASSACHUSETTS

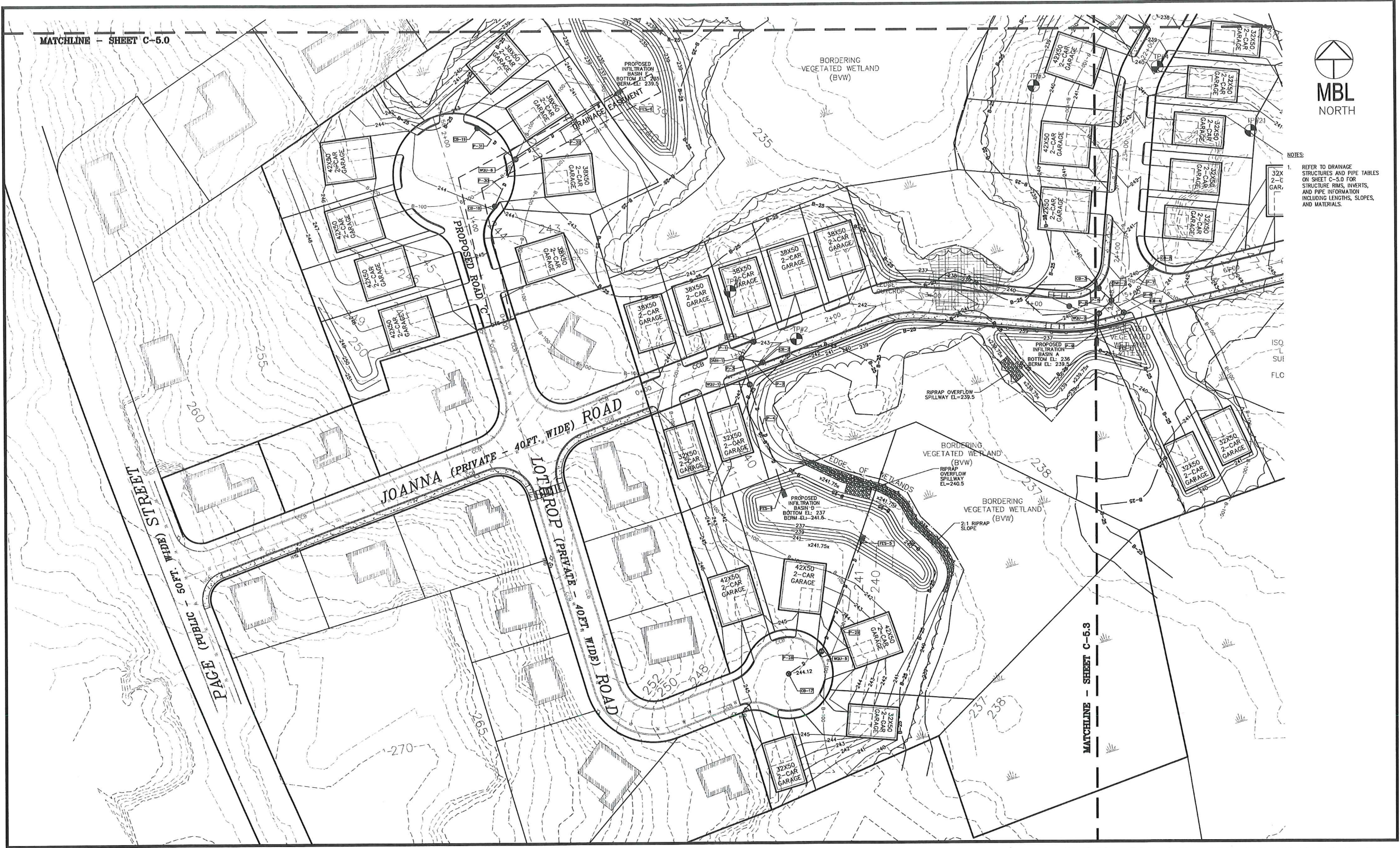
SCALE:
 HORZ: 1"=40'
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PROJ. No.: 2016-002
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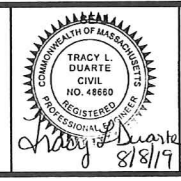


NOTES:
 1. REFER TO DRAINAGE STRUCTURES AND PIPE TABLES ON SHEET C-5.0 FOR STRUCTURE RIMS, INVERTS, AND PIPE INFORMATION INCLUDING LENGTHS, SLOPES, AND MATERIALS.

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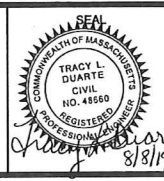


NOTES:
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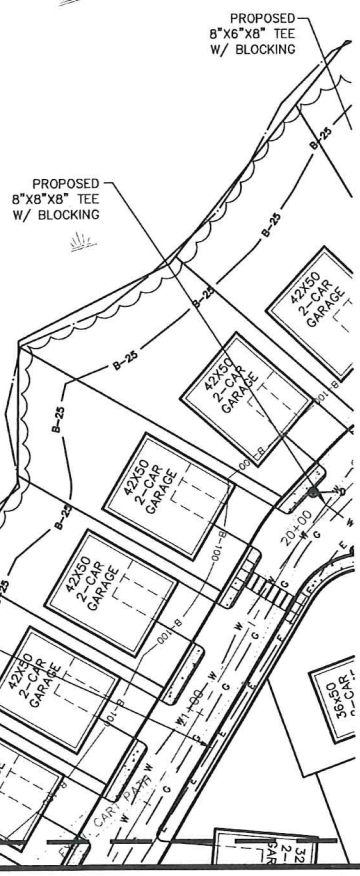


MATCHLINE - SHEET C-6.1

MATCHLINE - SHEET C-6.2

ASSESSORS MAP C7-3 PLOT 15
 TOTAL AREA = 29.37±ACRES
 TOTAL UPLAND AREA = 19.86±ACRES
 TOTAL WETLANDS = 9.51± ACRES

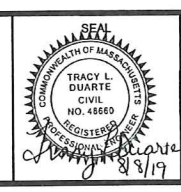
PROPOSED UNDERGROUND ELECTRIC SERVICES



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UTILITY PLAN
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
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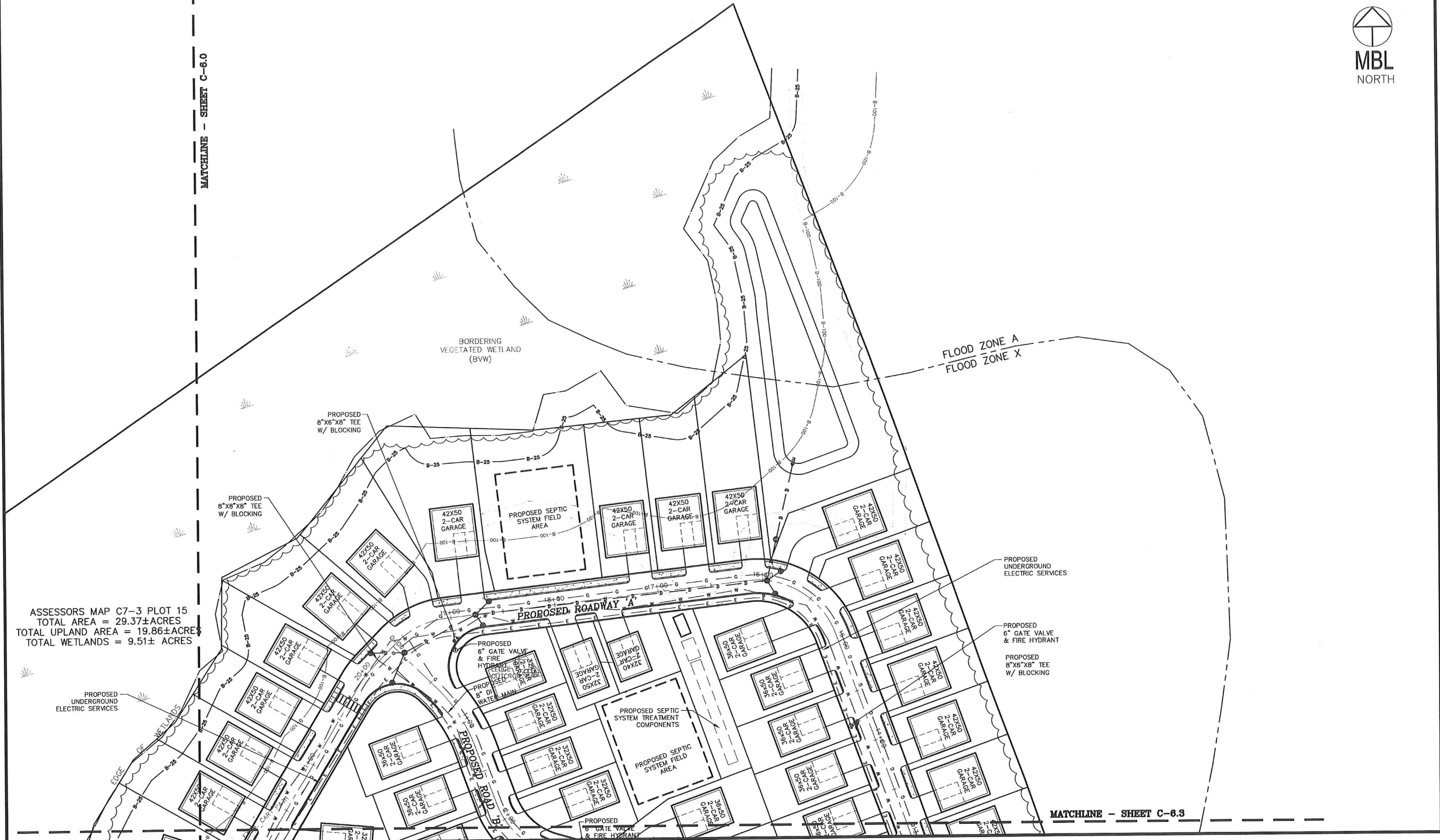


MATCHLINE - SHEET C-6.0

FLOOD ZONE A
FLOOD ZONE X

MATCHLINE - SHEET C-6.3

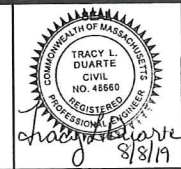
ASSESSORS MAP C7-3 PLOT 15
TOTAL AREA = 29.37±ACRES
TOTAL UPLAND AREA = 19.86±ACRES
TOTAL WETLANDS = 9.51± ACRES



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SITE PLANS
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CHAPTER 40B - JOANNA HILLS ESTATES
ASSESSORS MAP C7, BLOCK 3 & PLOT 15
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PROJ. No.: 2016-002
DATE: AUGUST 8, 2019
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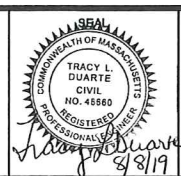
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MATCHLINE - SHEET C-6.2

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REVIEWED BY:	DATE

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 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
C-6.3

OBSERVATION HOLE DATA

INDICATES PERC TEST

TEST PIT # 1 GRD. EL. 239.61 TEST BY: BRIAN M. DUNN
GW. EL. 232.61 WITNESSED BY:
DATE: 4/13/2016 MOTTUNG. EL. 236.61 CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
238.61	0"-12"	A	ORGANIC			
231.61	12"-108"	FILL	FILL MATERIAL		MOTTLES=84"	

WATER WEEPING OBSERVED @ 84" PERC RATE N/A MIN/INCH
PERC DEPTH N/A INCHES

TEST PIT # 2 GRD. EL. 238.80 TEST BY: BRIAN M. DUNN
GW. EL. N/A WITNESSED BY:
DATE: 4/13/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
238.55	0"-3"	FILL	FILL MATERIAL			
235.30	3"-42"	A/B	ORGANIC			
233.30	42"-66"	C1	CLAY			
231.80	66"-84"	C2	BTM/NATURAL			

WATER WEEPING OBSERVED @ N/A PERC RATE N/A MIN/INCH
PERC DEPTH N/A INCHES

TEST PIT # 3 GRD. EL. 239.54 TEST BY: BRIAN M. DUNN
GW. EL. 233.04 WITNESSED BY:
DATE: 4/13/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
239.04	0"-6"	A	ORGANIC			
233.04	6"-78"	B	LOAMY SAND			

WATER WEEPING OBSERVED @ 78" PERC RATE N/A MIN/INCH
PERC DEPTH N/A INCHES

TEST PIT # 4 GRD. EL. 240.29 TEST BY: BRIAN M. DUNN
GW. EL. 232.99 WITNESSED BY:
DATE: 4/13/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
239.79	0"-6"	A	ORGANIC			
233.79	6"-90"	B	LOAMY SAND			

WATER WEEPING OBSERVED @ 90" PERC RATE N/A MIN/INCH
PERC DEPTH N/A INCHES

TEST PIT # 5 GRD. EL. 236.17 TEST BY: BRIAN M. DUNN
GW. EL. 228.84 WITNESSED BY:
DATE: 4/13/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
235.67	0"-6"	A	ORGANIC			
229.67	6"-88"	B	LOAMY SAND			

WATER WEEPING OBSERVED @ 88" PERC RATE N/A MIN/INCH
PERC DEPTH N/A INCHES

TEST PIT # 6 GRD. EL. 234.26 TEST BY: BRIAN M. DUNN
GW. EL. 225.26 WITNESSED BY:
DATE: 4/13/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
233.76	0"-6"	A	ORGANIC			
231.76	6"-30"	B	SANDY LOAM			
227.26	30"-84"	C1	LOAMY SAND			
225.26	84"-108"	C2	LOAMY SAND			

WATER WEEPING OBSERVED @ 108" PERC RATE 8 MIN/INCH
PERC DEPTH 35" INCHES

TEST PIT # 7 GRD. EL. 229.31 TEST BY: BRIAN M. DUNN
GW. EL. 224.31 WITNESSED BY:
DATE: 4/13/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
228.81	0"-6"	A	LOAM			
226.81	6"-30"	FILL	FILL MATERIAL			
217.81	24"-138"	C1	SANDY LOAM			REFUSAL @ 138"

WATER WEEPING OBSERVED @ 60" PERC RATE N/A MIN/INCH
PERC DEPTH N/A INCHES

TEST PIT # 8 GRD. EL. 230.13 TEST BY: BRIAN M. DUNN
GW. EL. 222.13 WITNESSED BY:
DATE: 4/13/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
229.63	0"-6"	Ao	ORGANIC			
227.63	6"-30"	B	SANDY LOAM			
223.13	30"-84"	C1	LOAMY SAND			
218.13	84"-144"	C2	LOAMY SAND			WEEP=118" STANDING=98"

WATER WEEPING OBSERVED @ 96" PERC RATE 11 MIN/INCH
PERC DEPTH 56" INCHES

TEST PIT # 9 GRD. EL. 232.03 TEST BY: BRIAN M. DUNN
GW. EL. 226.61 WITNESSED BY:
DATE: 04/13/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
231.03	0"-12"	A	LOAM			
230.03	12"-24"	B	LOAMY SAND			
224.03	24"-96"	C1	SANDY LOAM			WEEP=65" STANDING=96" SAND GRAVEL STONES

WATER WEEPING OBSERVED @ 65" PERC RATE 17 MIN/INCH
PERC DEPTH 48" INCHES

TEST PIT # 10 GRD. EL. 225.06 TEST BY: BRIAN M. DUNN
GW. EL. 215.22 WITNESSED BY:
DATE: 04/13/2016 MOTTUNG. EL. 219.06 CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
254.56	0"-6"	A/OI	ORGANIC			
252.56	6"-30"	B	SANDY LOAM			
248.06	30"-84"	C1	LOAMY SAND			MOTTLES=72"
243.06	84"-144"	C2	LOAMY SAND			WEEP=118" STANDING=134"

WATER WEEPING OBSERVED @ 118" PERC RATE <2 MIN/INCH
PERC DEPTH 60" INCHES

TEST PIT # 11 GRD. EL. 226.99 TEST BY: BRIAN M. DUNN
GW. EL. 217.23 WITNESSED BY:
DATE: 04/14/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
226.49	0"-6"	A	LOAM			
223.99	6"-36"	B	LOAMY SAND			15-30% GRAVEL
221.32	36"-68"	C1	LOAMY SAND			LARGE BOULDER
216.15	68"-130"	C2	LOAMY SAND			WEEP=116" STANDING=120" BOULDERS

WATER WEEPING OBSERVED @ 116" PERC RATE N/A MIN/INCH
PERC DEPTH 36" INCHES

TEST PIT # 12 GRD. EL. 229.69 TEST BY: BRIAN M. DUNN
GW. EL. 220.67 WITNESSED BY:
DATE: 04/14/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
229.19	0"-6"	A/OI	ORGANIC			
227.52	6"-26"	B	SANDY LOAM			
223.69	26"-72"	C1	LOAMY SAND			15-20% DENSE GRAVEL
218.85	72"-130"	C2	LOAMY SAND			WEEP=108" STANDING=126" COBBLES

WATER WEEPING OBSERVED @ 108" PERC RATE 4 MIN/INCH
PERC DEPTH 48" INCHES

TEST PIT # 13 GRD. EL. 229.56 TEST BY: BRIAN M. DUNN
GW. EL. 227.56 WITNESSED BY:
DATE: 04/14/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
228.56	0"-12"	A	LOAM			
227.56	12"-24"	B	LOAMY SAND			

WATER WEEPING OBSERVED @ 24" PERC RATE N/A MIN/INCH
PERC DEPTH N/A INCHES

TEST PIT # 14 GRD. EL. 231.70 TEST BY: BRIAN M. DUNN
GW. EL. 225.03 WITNESSED BY:
DATE: 4/14/2016 MOTTUNG. EL. 225.03 CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
231.03	0"-8"	Ao	ORGANIC			
229.20	8"-30"	B	SANDY LOAM			
220.78	30"-131"	C	LOAMY SAND			MOTTLES=80" WEEP=80" COBBLES

WATER WEEPING OBSERVED @ 80" PERC RATE N/A MIN/INCH
PERC DEPTH N/A INCHES

TEST PIT # 15 GRD. EL. 226.38 TEST BY: BRIAN M. DUNN
GW. EL. 218.13 WITNESSED BY:
DATE: 4/14/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
225.88	0"-6"	A	LOAM			
224.88	6"-18"	B	LOAMY SAND			
216.38	8"-120"	C	SANDY LOAM			WEEP=99" STANDING=120" SAND GRAVEL STONES

WATER WEEPING OBSERVED @ 99" PERC RATE 9 MIN/INCH
PERC DEPTH 48" INCHES

TEST # 16 GRD. EL. 223.50 TEST BY: BRIAN M. DUNN
GW. EL. N/A WITNESSED BY:
DATE: 4/14/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
225.88	0"-8"	Ao	ORGANIC			
224.88	8"-24"	B	SANDY LOAM			
216.38	28"-96"	C	SANDY LOAM			FRACTURED LEDGE COARSE REFUSAL AT 96"

WATER WEEPING OBSERVED @ N/A PERC RATE 3.6 MIN/INCH
PERC DEPTH 56" INCHES

TEST PIT # 17 GRD. EL. 224.24 TEST BY: BRIAN M. DUNN
GW. EL. N/A WITNESSED BY:
DATE: 4/14/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
223.57	0"-8"	A	LOAM			
222.24	8"-24"	B	LOAMY SAND			BOULDERS
217.24	24"-84"	C	SANDY LOAM			FRACTURED LEDGE COARSE GRAVEL REFUSAL AT 84"

WATER WEEPING OBSERVED @ N/A PERC RATE 9 MIN/INCH
PERC DEPTH 36" INCHES

TEST PIT # 18 GRD. EL. 223.52 TEST BY: BRIAN M. DUNN
GW. EL. 215.52 WITNESSED BY:
DATE: 4/14/2016 MOTTUNG. EL. 220.52 CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
223.02	0"-8"	Ao	ORGANIC			
221.02	8"-24"	B	SANDY LOAM			
214.52	24"-108"	C	LOAMY SAND			MOTTLES=36" WEEP=68" STANDING=98"

WATER WEEPING OBSERVED @ 68" PERC RATE 10 MIN/INCH
PERC DEPTH 56" INCHES

TEST PIT # 19 GRD. EL. 219.42 TEST BY: BRIAN M. DUNN
GW. EL. 214.75 WITNESSED BY:
DATE: 4/14/2016 MOTTUNG. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
219.00	0"-5"	A/OI	LOAM			
211.42	5"-96"	B	LOAMY SAND			WEEP=56" STANDING=96" SAND GRAVEL STONES

WATER WEEPING OBSERVED @ 54" PERC RATE 11 MIN/INCH
PERC DEPTH 48" INCHES

TEST PIT # 20 GRD. EL. 222.83 TEST BY: BRIAN M. DUNN
GW. EL. 218.33 WITNESSED BY:
DATE: 4/14/2016 MOTTUNG. EL. N/A CERTIFIED BY:

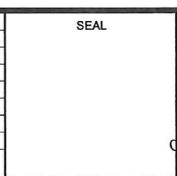
ELEV.	SURFACE DEPTH	SOIL HORIZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
222.33	0"-6"	A/OI	ORGANIC			
221.16	6"-20"	B	SANDY LOAM			
214.83	20"-96"	C	LOAMY SAND			WEEP=54" STANDING=91" COBBLES, COARSE FINE SAND

WATER WEEPING OBSERVED @ 54" PERC RATE 10 MIN/INCH
PERC DEPTH 48" INCHES

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 LMAN: MSVIEW: CTB:

No.	DATE	DESCRIPTION	BY

PROJ. MANAGER:	MBL
CHIEF DESIGNER:	MBL
REVIEWED BY:	DATE



PREPARED FOR
STONEBRIDGE HOMES, INC.
 32 NORFOLK AVENUE
 SOUTH EASTON MASSACHUSETTS

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SITE PLANS
 TEST PIT LOGS
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 6, 2019
C-7.0

UCS: X:\2016\002\CIVIL\LOT\2016-002 Site Plans 07102019.dwg 8/8/2019 10:16:12 AM EDT
 LMAN: MS VIEW: CTB:

OBSERVATION HOLE DATA

INDICATES PERC TEST
 INDICATES OBSERVED GROUNDWATER

TEST PIT # 21 GRD. EL. 247.78 TEST BY: TRACY L. DUARTE, PE
 GW. EL. N/A WITNESSED BY:
 DATE: 10/25/2018 MOTTLING. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTLING	OTHER
247.94	0"-10"	A	SANDY LOAM	10YR 3/2		ROOTS
245.78	10"-24"	B	SANDY LOAM	10YR 4/6		5% STONES, 10% C+G
239.94	24"-94"	C	M-C LOAMY SAND	2.5YR 4/4		5% STONES, 10% C+G
REFUS.						BONY, TIGHT

WATER WEeping OBSERVED @ N/A PERC RATE 8 MIN/INCH
 PERC DEPTH 24"-42" INCHES

TEST PIT # 22 GRD. EL. 236.21 TEST BY: TRACY L. DUARTE, PE
 GW. EL. N/A WITNESSED BY:
 DATE: 10/25/2018 MOTTLING. EL. N/A CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTLING	OTHER
235.38	0"-10"	A	SANDY LOAM	10YR 3/2		ROOTS
234.38	10"-22"	B	SANDY LOAM	10YR 4/6		5% STONES, 10% C+G
229.21	22"-84"	C	M-C LOAMY SAND	2.5YR 4/4		5% STONES, 10% C+G
REFUS.						BONY, TIGHT

WATER WEeping OBSERVED @ N/A PERC RATE 9 MIN/INCH
 PERC DEPTH 30"-48" INCHES

TEST PIT # 23 GRD. EL. 225.37 TEST BY: TRACY L. DUARTE, PE
 GW. EL. 221.54 WITNESSED BY:
 DATE: 10/25/2018 MOTTLING. EL. 221.54 CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTLING	OTHER
224.37	0"-12"	A	SANDY LOAM	10YR 4/2		ROOTS
222.87	12"-30"	B	SANDY LOAM	10YR 4/6		5% STONES, 10% C+G
217.87	30"-90"	C	MED. SANDY LOAM	2.5YR 4/4	MOTTLING @ 46"	5% STONES, 10% C+G
REFUS.						BONY, TIGHT, MODERATE STRUCT

WATER WEeping OBSERVED @ 80" PERC RATE 14 MIN/INCH
 PERC DEPTH 36"-54" INCHES

TEST PIT # 24 GRD. EL. 226.88 TEST BY: TRACY L. DUARTE, PE
 GW. EL. 223.88 WITNESSED BY:
 DATE: 10/25/2018 MOTTLING. EL. 223.88 CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTLING	OTHER
225.88	0"-12"	A	SANDY LOAM	10YR 3/2		10% C+G
224.54	12"-28"	B	MED. LOAMY SAND	10YR 4/4		
215.88	28"-132"	C	M-C LOAMY SAND	2.5YR 6/4	MOTTLING @ 36"	5% STONES, 10% C+G

WATER WEeping OBSERVED @ 94" PERC RATE 6 MIN/INCH
 PERC DEPTH 34"-52" INCHES

TEST PIT # 25 GRD. EL. 229.1 TEST BY: TRACY L. DUARTE, PE
 GW. EL. 223.1 WITNESSED BY:
 DATE: 10/25/2018 MOTTLING. EL. 223.1 CERTIFIED BY:

ELEV.	SURFACE DEPTH	SOIL HORZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTLING	OTHER
247.94	0"-10"	AB	SANDY LOAM	10YR 3/6		ROOTS
245.78	10"-34"	B	SANDY LOAM	10YR 4/6		10% STONES, 15% C+G
239.94	34"-108"	C	M-C LOAMY SAND	2.5YR 4/4	MOTTLING @ 72"	10% STONES, 15% C+G
						MOO. STRUCTURE
						LEDGE AT 72"

WATER WEeping OBSERVED @ 96" PERC RATE 3 MIN/INCH
 PERC DEPTH 36"-54" INCHES

TEST PIT # 26 GRD. EL. 237.85 TEST BY: TRACY L. DUARTE, PE
 GW. EL. N/A WITNESSED BY:
 DATE: 10/25/2018 MOTTLING. EL. N/A CERTIFIED BY:

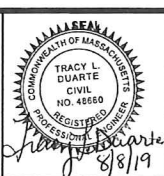
ELEV.	SURFACE DEPTH	SOIL HORZ.	SOIL TEXTURE	SOIL COLOR	SOIL MOTTLING	OTHER
247.94	0"-6"	AB	SANDY LOAM	10YR 3/6		ROOTS
245.78	6"-32"	B	SANDY LOAM	10YR 4/6		15% STONES, 15% C+G
239.94	32"-114"	C	M-C LOAMY SAND	2.5YR 4/4		15% STONES, 15% C+G

WATER WEeping OBSERVED @ N/A PERC RATE 4 MIN/INCH
 PERC DEPTH 34"-52" INCHES

No.	DATE	DESCRIPTION	BY

PROJ. MANAGER:	MBL
CHIEF DESIGNER:	MBL
REVIEWED BY:	DATE

SEAL



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 32 NORFOLK AVENUE
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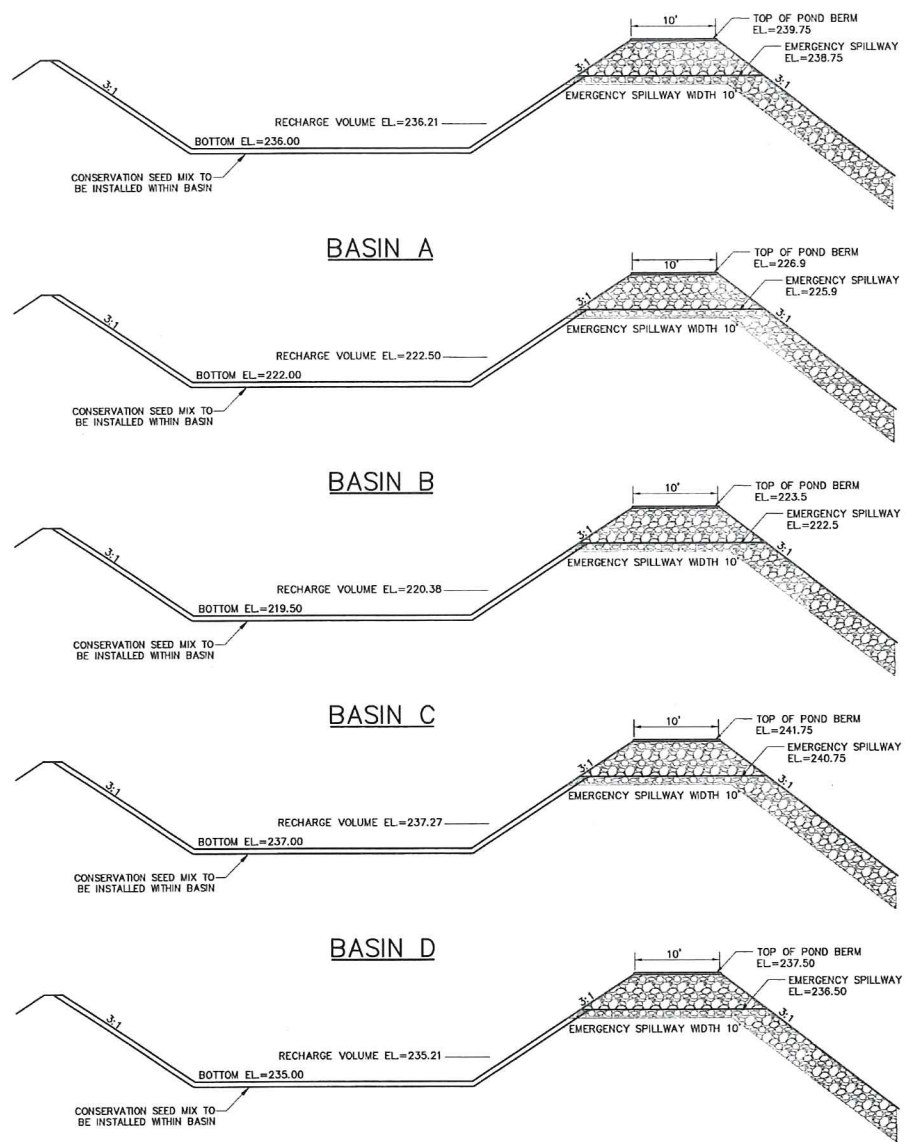
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SITE PLANS
TEST PIT LOGS
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
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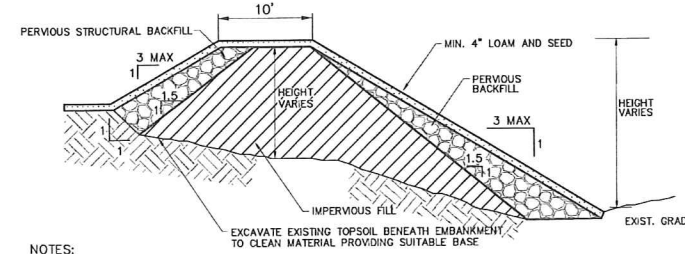
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BASIN CONSTRUCTION NOTES:
 AS PART OF BASIN CONSTRUCTION, THE CONTRACTOR SHALL REMOVE A & B SOIL HORIZONS AND ANY OTHER UNSUITABLE SOIL THAT MAYBE ENCOUNTERED. THIS REMOVED MATERIAL SHALL BE REPLACED BY A MAINLY SANDY SOIL MIX (80% SAND / 20% LOAM) OR OTHER MIX THAT WILL NOT OVERLY COMPACT DURING CONSTRUCTION BUT WILL MAINTAIN THE INFILTRATION CAPACITY OF THE BASIN.
 THE CONTRACTOR IS CAUTIONED THAT THE BASIN IS DESIGNED TO INFILTRATE/RECHARGE STORMWATER PRIMARILY THROUGH THE BOTTOM AND SIDES OF THE BASIN. CONSTRUCTION TECHNIQUES THAT WOULD POTENTIALLY DIMINISH THE INFILTRATION CAPACITY OF THE UNDERLYING SOILS ARE TO BE AVOIDED. COMPACTION AND SILTATION OF THE BASIN DURING CONSTRUCTION IS PROHIBITED.

- DO NOT UTILIZE ANY PORTION OF THE BASIN FLOOR AS A HAUL ROAD FOR MATERIAL AND HEAVY EQUIPMENT.
- DO NOT COMPACT SOILS IN THE BASIN FLOOR.
- DO NOT PLACE GRAVEL OR OTHER MATERIALS TO STABILIZE THE BASIN FLOOR FOR CONSTRUCTION VEHICULAR TRAVEL ACCESS.
- STRICT COMPLIANCE WITH THE EROSION CONTROL PLAN AND THE STORMWATER OPERATIONS AND MAINTENANCE PLAN IS NECESSARY.
- BASIN CONSTRUCTION SHALL OCCUR AT THE EARLY STAGES OF THE PROJECT CONSTRUCTION SO THAT THEY ARE FULLY VEGETATED AND STABILIZED PRIOR TO RECEIVING STORMWATER.
- DO NOT USE THE BASIN AS A TEMPORARY SEDIMENT BASIN OR DE-WATERING BASIN.

INFILTRATION BASIN CROSS SECTIONS
NOT TO SCALE



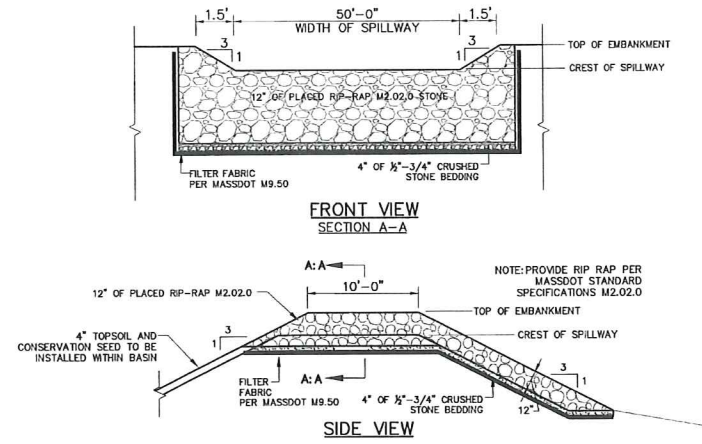
NOTES:

- IMPERVIOUS MATERIAL FOR USE IN FILL AREAS AND WHERE SHOWN ON THE PLANS SHALL BE COMPOSED OF INORGANIC GRAVELLY SILTY SOIL (GLACIAL TILL) WITH GRAVEL AND COBBLES UP TO 2 INCHES MAXIMUM SIZE. THE SOIL SHALL BE FREE OF RUBBISH, ICE, VEGETATIVE MATTER, LOAM, OR OTHER DEBRIS.
- PERVIOUS MATERIAL FOR USE IN FILL AREAS AND WHERE SHOWN ON THE PLANS SHALL BE COMPOSED OF INORGANIC GRAVELLY SANDY SOIL WITH GRAVEL AND COBBLES UP TO 3.5 INCHES MAXIMUM SIZE. THE SOIL SHALL BE FREE OF RUBBISH, ICE, VEGETATIVE MATTER, LOAM, OR OTHER DEBRIS.
- IMPERVIOUS FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION AS DEFINED BY A STANDARD SEVE TEST (ASTM D422) AND PER MASSDOT STANDARDS (WHICH SHALL BE SUBMITTED TO THE PLANNING DEPT. AND DESIGN ENGINEER FOR APPROVAL).
- PERVIOUS BACKFILL MATERIAL SHALL CONSIST OF GRAVEL, CRUSHED GRAVEL, CRUSHED ROCK, NATURAL SANDS, MANUFACTURED SANDS OR COMBINATION THEREOF, AND SHALL MEET THE FOLLOWING REQUIREMENTS

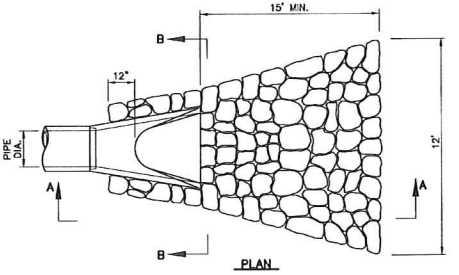
MIN. PERCENT PASSING (BY WT.)	SEVE TEST
100	2"
50-100	3/4"
25-75	No. 4
0-10	No. 200

EMBANKMENT MATERIAL SHALL HAVE A MINIMUM 95% COMPACTED MATERIAL.

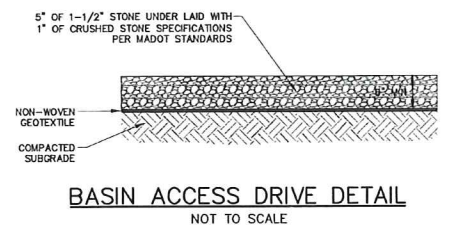
INFILTRATION BASIN EMBANKMENT
NOT TO SCALE



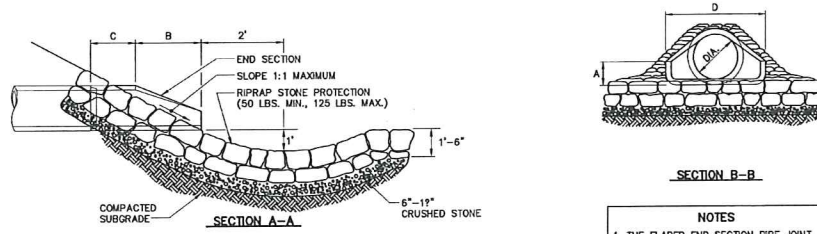
INFILTRATION BASIN EMERGENCY SPILLWAY
NOT TO SCALE



PIPE DIA.	DIMENSIONAL TABLE					
	A	B	C	D	E	R
12"	4"	2'-0"	4'-11"	2'-0"	2"	9"
15"	6"	2'-3"	3'-10"	2'-6"	2 1/2"	11"
18"	9"	2'-3"	3'-10"	3'-0"	2 1/2"	12"
24"	9 1/2"	3'-7 1/2"	2'-6"	4'-0"	3"	14"
30"	12"	4'-6"	1'-7 1/2"	5'-0"	3 1/2"	15"
36"	15"	5'-3"	2'-10"	6'-0"	4"	20"
42"	21"	5'-3"	2'-11"	6'-6"	4 1/2"	22"
48"	24"	6'-0"	2'-2"	7'-0"	5"	22"
54"	27"	5'-5"	2'-11"	7'-6"	5 1/2"	24"
60"	30"	5'-0"	3'-3"	8'-0"	6"	24"



BASIN ACCESS DRIVE DETAIL
NOT TO SCALE



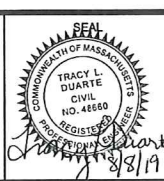
NOTES:

- THE FLARED END SECTION PIPE JOINT SHALL BE SIMILAR TO THE MAIN RUN OF PIPE JOINTS.
- FLARED END SECTIONS SHALL CONFORM AS SHOWN IN THE TABLE OR AS APPROVED BY THE ENGINEER.

FLARED END SECTION WITH STONE PROTECTION
NOT TO SCALE

No.	DATE	DESCRIPTION	BY
REVISIONS			

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CHIEF DESIGNER:	MBL	
REVIEWED BY:	DATE	



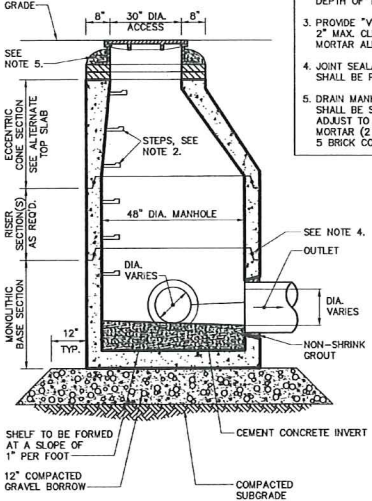
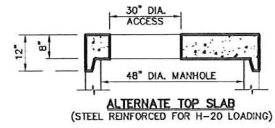
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	VERT.:
DATUM:	HORIZ.:
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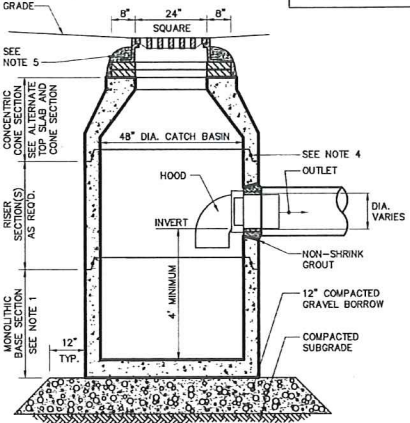
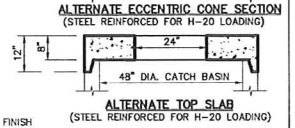
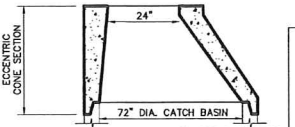
SITE PLANS
 DETAIL SHEET
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
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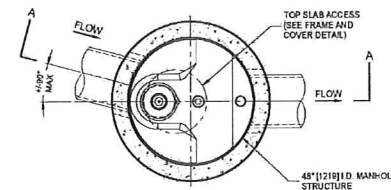
DRAIN MANHOLE
NOT TO SCALE

- NOTES:**
1. ALL SECTIONS SHALL BE DESIGNED FOR H-20 LOADING.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

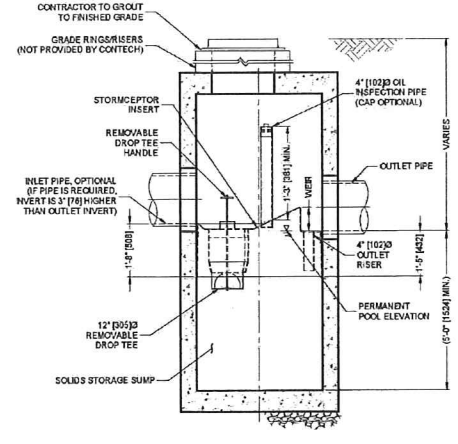


CATCH BASIN WITH HOOD
NOT TO SCALE

- NOTES:**
1. ALL SECTIONS SHALL BE DESIGNED FOR H-20 LOADING.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).



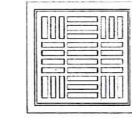
PLAN VIEW
TOP SLAB NOT SHOWN



SECTION A-A

Stormceptor®

STORMCEPTOR DESIGN NOTES	
THE STANDARD STC450i CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.	
CONFIGURATION DESCRIPTION	
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	



FRAME AND COVER
(MAY VARY)
NOT TO SCALE

FRAME AND GRATE
(MAY VARY)
NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS				
STRUCTURE ID				
WATER QUALITY FLOW RATE (GAL)				
PEAK FLOW RATE (GAL)				
RETURN PERIOD OF PEAK FLOW (yr)				
RIM ELEVATION				
PIPE DATA	INVERT	MATERIAL	DIAMETER	
INLET PIPE 1				
INLET PIPE 2				
OUTLET PIPE				
NOTES/SPECIAL REQUIREMENTS:				

- GENERAL NOTES:**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
 3. STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 4. STORMCEPTOR STRUCTURE SHALL MEET AASHTO H-20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" (810) AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M300 AND BE CAST WITH THE CONTECH LOGO.
 5. STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).
- INSTALLATION NOTES:**
- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
 - C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

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ENGINEERED SOLUTIONS LLC
www.conteches.com
8025 CANTON ROAD, SUITE 400, RAYNHAM, MASSACHUSETTS 01969
800-338-1122 513-645-7800 513-645-7893 FAX

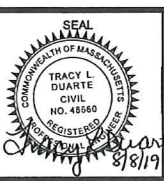
STC450i
STORMCEPTOR
STANDARD DETAIL

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MS VIEW: LMAN: CTB:

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32 NORFOLK AVENUE
SOUTH EASTON MASSACHUSETTS

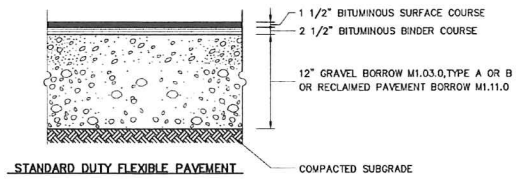
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DATUM:	
HORIZ.:	
VERT.:	

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SITE PLANS
DETAIL SHEET
CHAPTER 40B - JOANNA HILLS ESTATES
ASSESSORS MAP C7, BLOCK 3 & PLOT 15
AVON MASSACHUSETTS

PROJ. No.: 2016-002
DATE: AUGUST 8, 2019
C-8.1

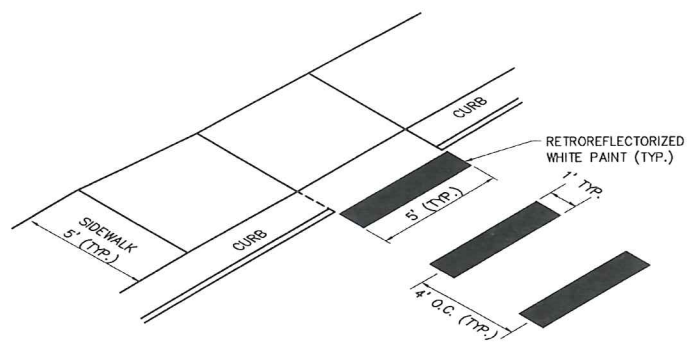
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 MS VIEW:



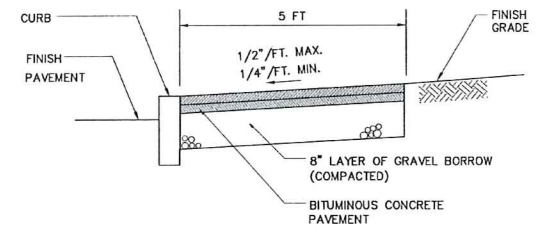
- COMPOSITION AND COMPACTION ACCEPTANCE TESTS**
- OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M3.11.09
 - PAVEMENT DENSITY AS OUTLINED IN M3.11.09
 - ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH AASHTO T230
 - MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M3.11.00 DIVISION III, MATERIALS AND THE FOLLOWING SUBSECTIONS

MINERAL AGGREGATE - M3.11.04	BITUMINOUS MATERIALS - M3.11.06
MINERAL FILLER - M3.11.05	COMPOSITION OF BASE COURSE - M3.11.02
 - THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 460 FOR CLASS 1 BITUMINOUS CONCRETE PAVEMENT, TYPE 1-1
 - CLASS 1 BITUMINOUS PAVEMENT, TYPE 1-1 REQUIRED THE SAME TESTING AS BASE COURSE AND SHALL HAVE A MINIMUM OF 95% COMPACTION. TESTING TO BE COMPLETED BY METHODS OUTLINED IN M3.11.00

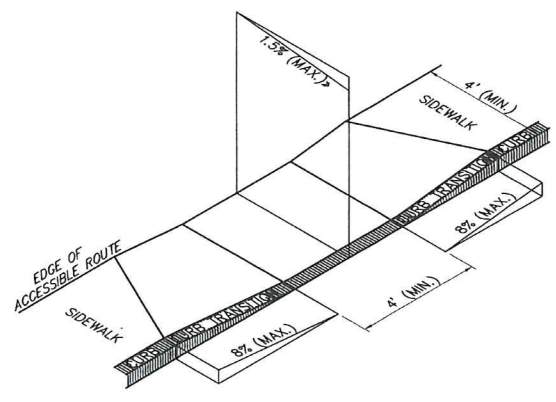
BITUMINOUS CONCRETE PAVEMENT SECTIONS
NOT TO SCALE



CROSSWALK DETAIL
NOT TO SCALE

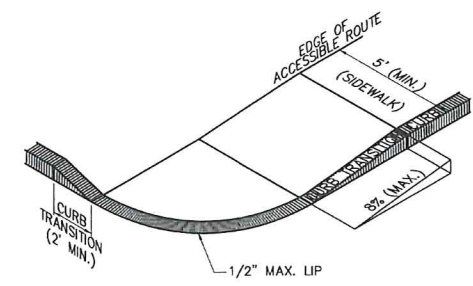


BITUMINOUS CONCRETE SIDEWALK
NOT TO SCALE



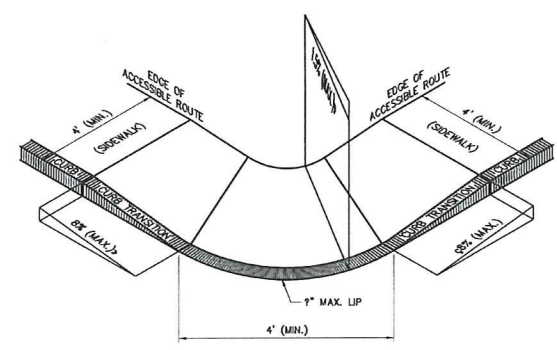
- NOTES:**
- THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 8%.
 - A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 - BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 - SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

ACCESSIBLE RAMP - TYPE 'A'
NOT TO SCALE



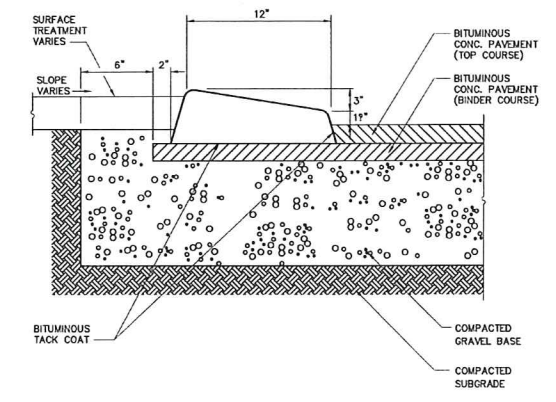
- NOTES:**
- THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 8%.
 - A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 - BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 - SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

ACCESSIBLE RAMP - TYPE 'B'
NOT TO SCALE



- NOTES:**
- THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 8%.
 - A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 - BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 - SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

ACCESSIBLE RAMP - TYPE 'C'
NOT TO SCALE



CAPE COD BERM (CCB)
NOT TO SCALE

No.	DATE	DESCRIPTION	BY
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Tracy L. Duarte
8/8/19

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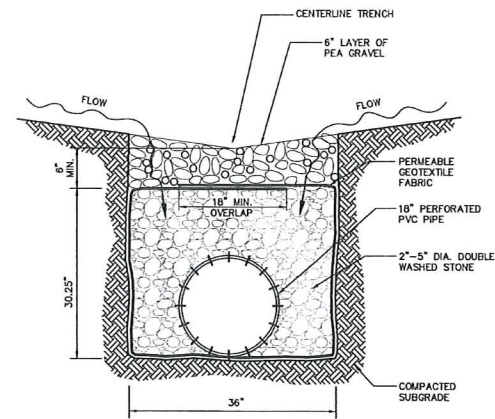
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SITE PLANS
 DETAIL SHEET
CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
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STONE TRENCH
NOT TO SCALE

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F	
6"	11 1/4"	8"	15"	12"	24"	12"	6"	45"	8"	30"	12"	24"
6"	22 1/2"	19"	-	-	13"	6"	90"	-	30"	-	-	27"
8"	11 1/4"	20"	-	-	12"	8"	45"	-	30"	-	-	24"
8"	22 1/2"	22"	-	-	17"	8"	90"	-	38"	-	-	36"
12"	11 1/4"	30"	-	-	15"	12"	45"	-	40"	-	-	40"
12"	22 1/2"	35"	-	-	25"	12"	90"	-	60"	-	-	52"

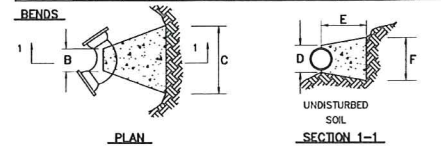
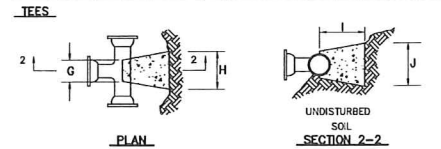


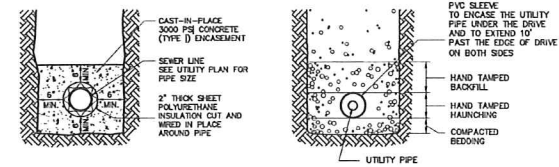
TABLE OF DIMENSIONS

TEES	G	H	I	J	TEES	G	H	I	J
6"x 6" x 6"	12"	24"	24"	18"	12"x 12" x 6"	12"	24"	24"	18"
8"x 8" x 6"	-	-	-	-	12"x 12" x 8"	-	-	-	-
8"x 8" x 8"	-	-	-	-	12"x 12" x 12"	-	-	-	-



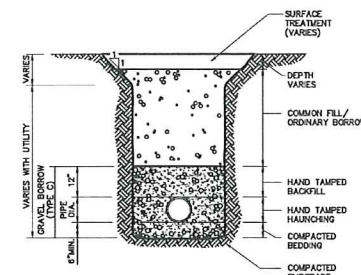
NOTES:
 1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.

CONCRETE THRUST BLOCK
NOT TO SCALE

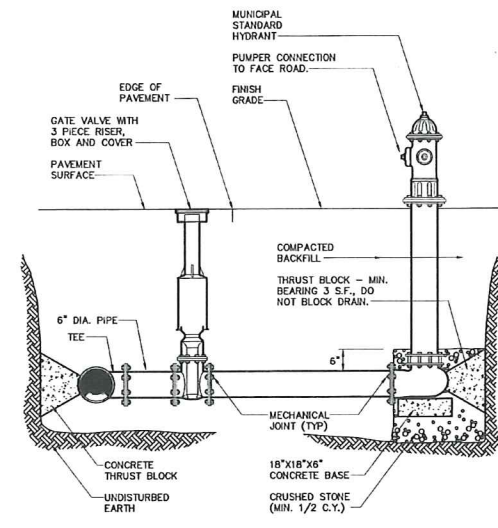


PIPE INSULATION:
SEWER LINE SHALL BE INSULATED WHEN MINIMUM COVER AS REQUIRED CANNOT BE ACHIEVED. MINIMUM COVER REQUIREMENT SHALL BE DETERMINED BY THE MORE RESTRICTIVE REGULATION, LOCAL OR STATE.

PIPE SLEEVING:
UTILITY LINE SLEEVE SHALL BE INSTALLED FOR WATER AND SEWER LINES SERVICES WHEN THE UTILITY MUST PASS UNDER A PRIVATE PAVED DRIVE. SLEEVE SIZE WILL BE DOUBLE THE UTILITY LINE SIZE IN QUESTION.

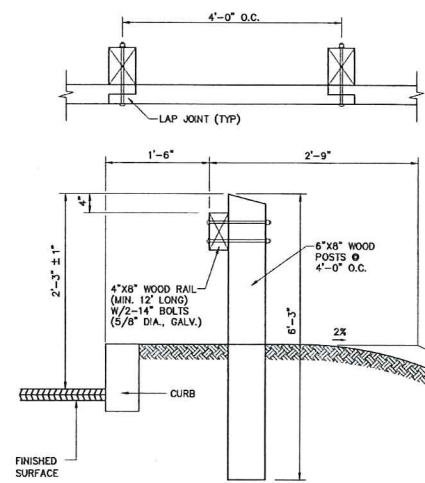


UTILITY TRENCH DETAIL
NOT TO SCALE

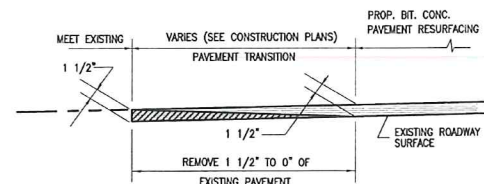


NOTE:
CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.

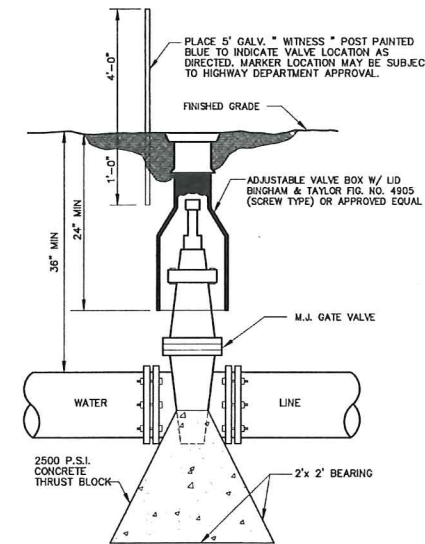
FIRE HYDRANT ASSEMBLY
NOT TO SCALE



WOODEN GUARDRAIL
NOT TO SCALE

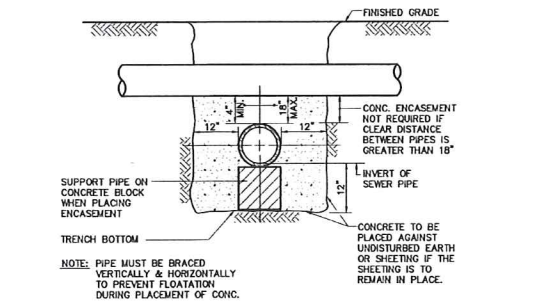


PAVEMENT TRANSITION
NOT TO SCALE



NOTE: IN REMOTE AREAS, VALVE BOXES SHALL EXTEND SIX (6) INCHES ABOVE GRADE.

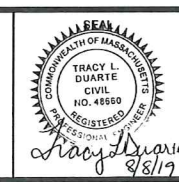
WATER GATE VALVE
NOT TO SCALE



CONCRETE ENCASEMENT AT UTILITY CROSSING
NOT TO SCALE

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PROJ. MANAGER:	MBL	SEAL
CHIEF DESIGNER:	MBL	
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 SOUTH EASTON MASSACHUSETTS

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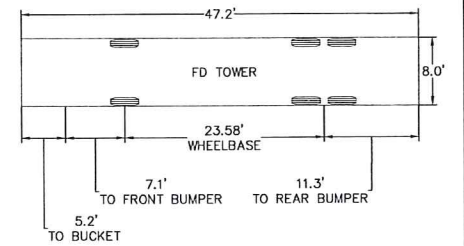
SITE PLANS
 DETAIL SHEET
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
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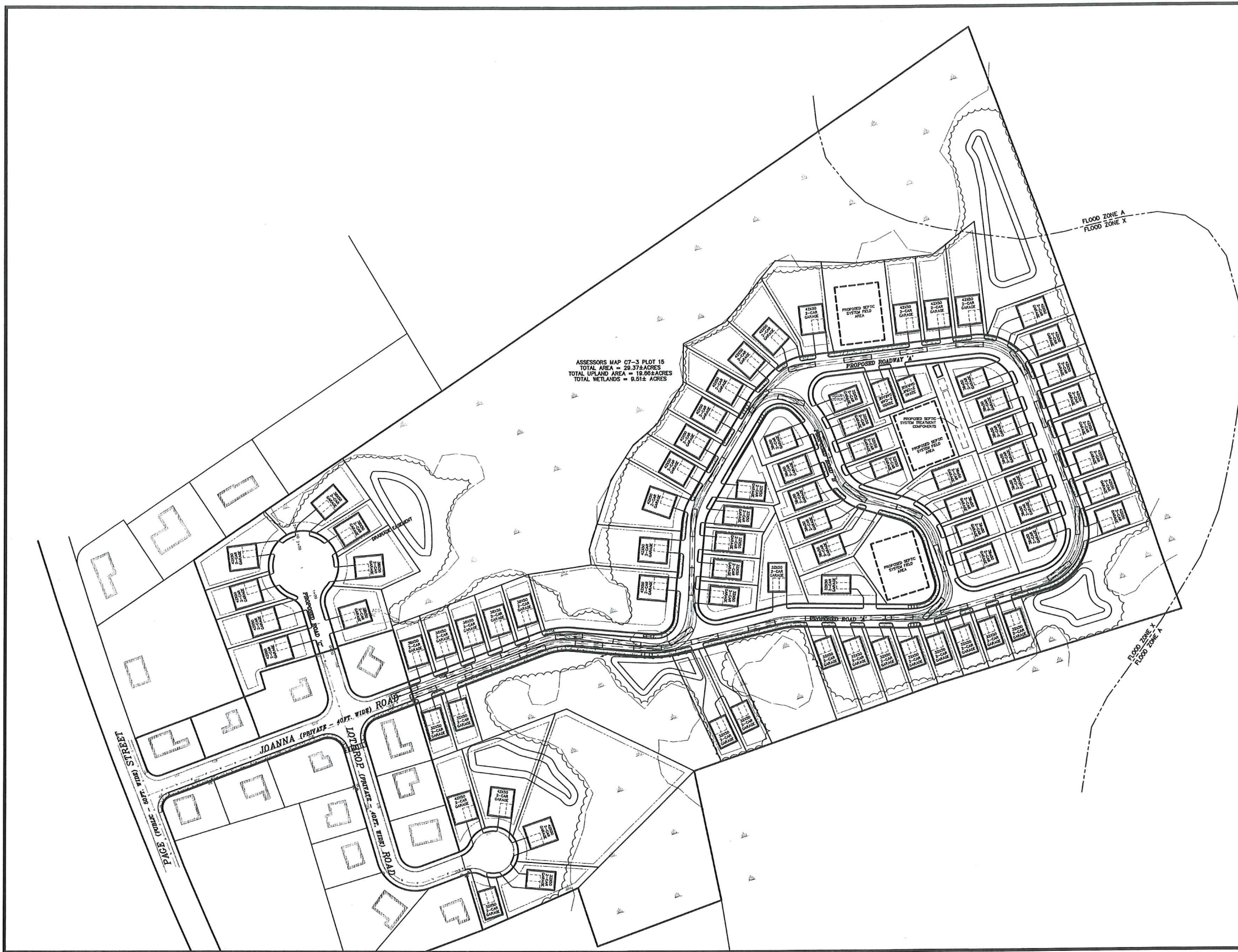


LEGEND

- VEHICLE BODY _____
- VEHICLE ENVELOPE _____
- WHEEL PATHS _____
- CENTER LINE OF TRAVEL _____



FIRE DEPARTMENT TOWER FIRE TRUCK
N.T.S.



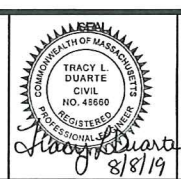
ASSESSORS MAP C7-3 PLOT 15
TOTAL AREA = 29.37± ACRES
TOTAL UPLAND AREA = 19.86± ACRES
TOTAL WETLANDS = 9.51± ACRES

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SCALE:
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 VERT.:
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 GRAPHIC SCALE

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SITE PLANS
FIRE TRUCK TURNING RADIUS PLAN
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
C-9.0





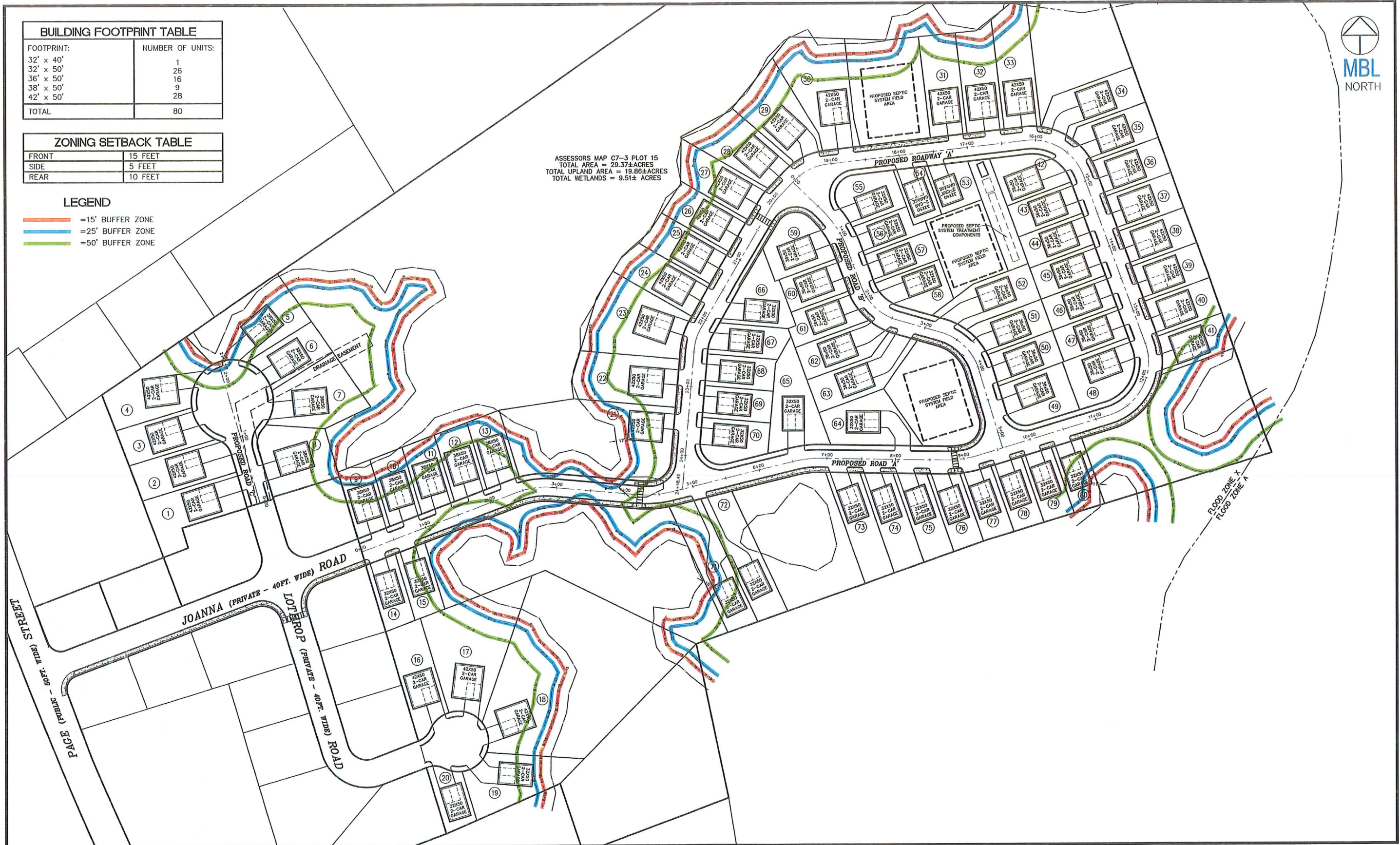
BUILDING FOOTPRINT TABLE	
FOOTPRINT:	NUMBER OF UNITS:
32' x 40'	1
32' x 50'	26
36' x 50'	16
38' x 50'	9
42' x 50'	28
TOTAL	80

ZONING SETBACK TABLE	
FRONT	15 FEET
SIDE	5 FEET
REAR	10 FEET

LEGEND

- =15' BUFFER ZONE
- =25' BUFFER ZONE
- =50' BUFFER ZONE

ASSESSORS MAP C7-3 PLOT 15
 TOTAL AREA = 29.37± ACRES
 TOTAL UPLAND AREA = 19.86± ACRES
 TOTAL WETLANDS = 9.51± ACRES



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 32 NORFOLK AVENUE
 SOUTH EASTON MASSACHUSETTS

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 VERT.:
 GRAPHIC SCALE

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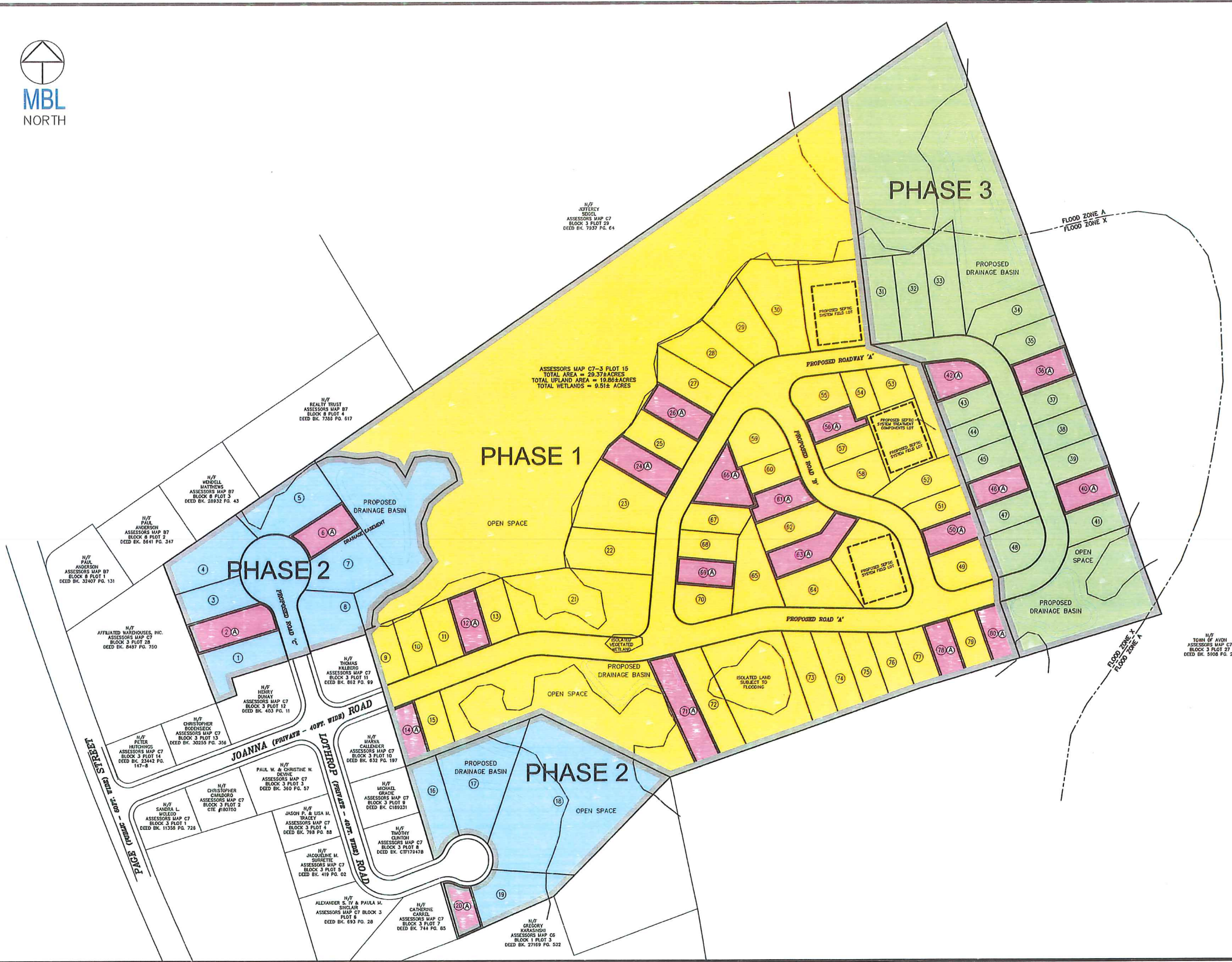
SITE PLANS
 OVERALL SITE LAYOUT
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
C-10.0



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LUCS: IMS VIEW: LMAN: CTEB:



SITE DATA:

ROADWAY	LENGTH (FT.)	No. HOMES
ROAD 'A'	2449	8
ROAD 'B'	523	13
ROAD 'C'	213	54
TOTAL	3185	75*

*5 HOMES ARE PROPOSED TO TIE INTO THE EXISTING ROADWAY ON LOTHROP ROAD

TOTAL AREA: 29.37 ACRES

PARKING SPACES PROVIDED: 2 PER DWELLING

SEWER REQUIREMENTS: 80 HOMES ASSUMING 3 BEDROOMS * 110 GPD = 26,400 GPD MAX

AFFORDABLE LOTS BY PHASE

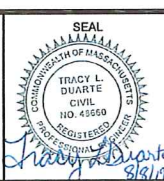
PHASE 1	13 UNITS
PHASE 2	3 UNITS
PHASE 3	4 UNITS

- = PHASE 1
- = PHASE 2
- = PHASE 3
- = AFFORDABLE HOUSING UNIT

PHASE 1	PHASE 2	PHASE 3	TOTAL
49 UNITS/ 13 AFFORDABLE	13 UNITS/ 3 AFFORDABLE	18 UNITS/ 4 AFFORDABLE	80 UNITS/ 20 AFFORDABLE

No.	DATE	DESCRIPTION	BY

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32 NORFOLK AVE
SOUTH EASTON MASSACHUSETTS

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JOANNA HILLS ESTATES
PHASING PLAN - AFFORDABLE DISTRIBUTION
JOANNA ROAD
ASSESSORS MAP C7 BLOCK 3 PLOT 15
AVON MASSACHUSETTS

PROJ. No: 2016-002
DATE: AUGUST 8, 2019
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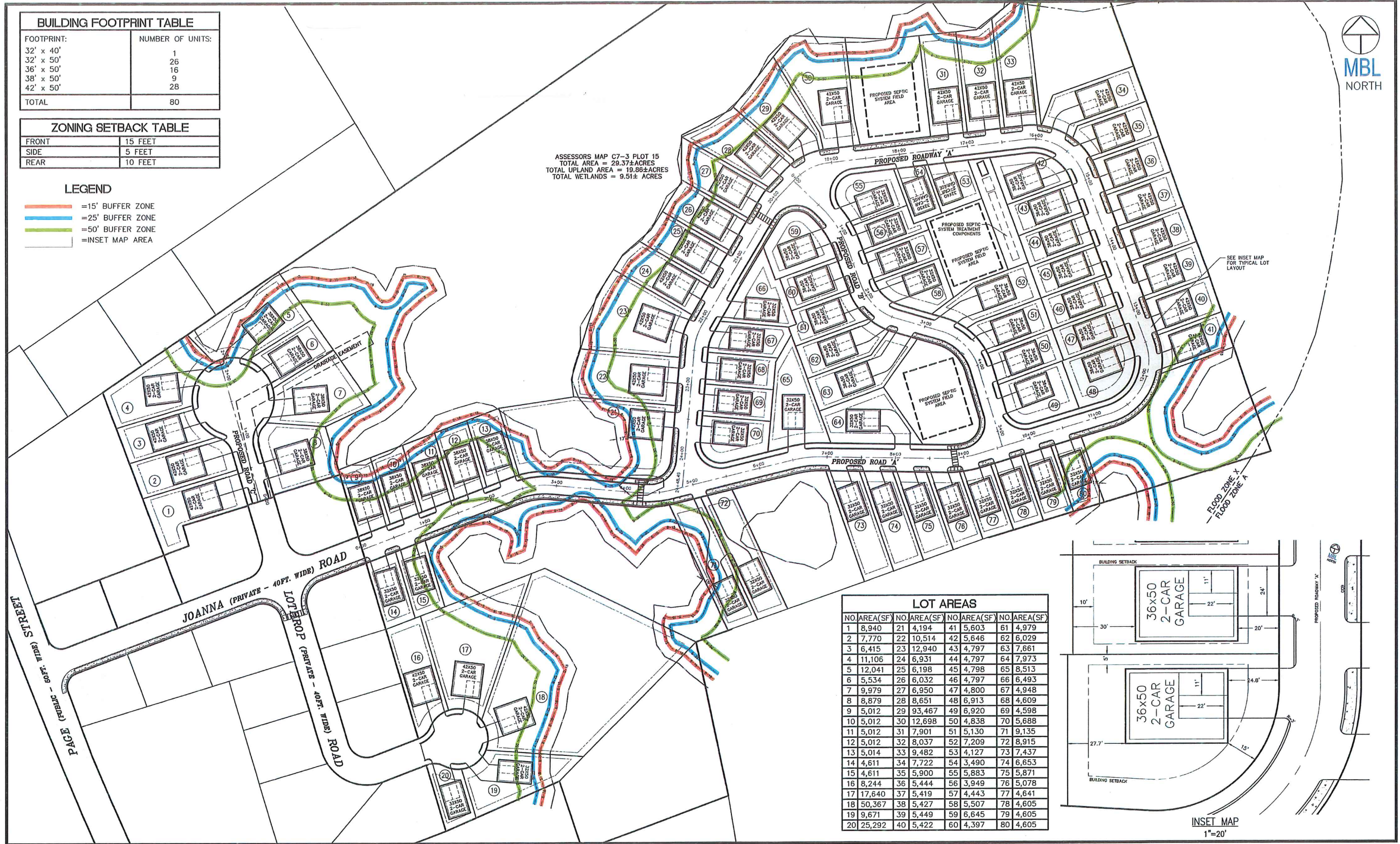
BUILDING FOOTPRINT TABLE	
FOOTPRINT:	NUMBER OF UNITS:
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38' x 50'	9
42' x 50'	28
TOTAL	80

ZONING SETBACK TABLE	
FRONT	15 FEET
SIDE	5 FEET
REAR	10 FEET

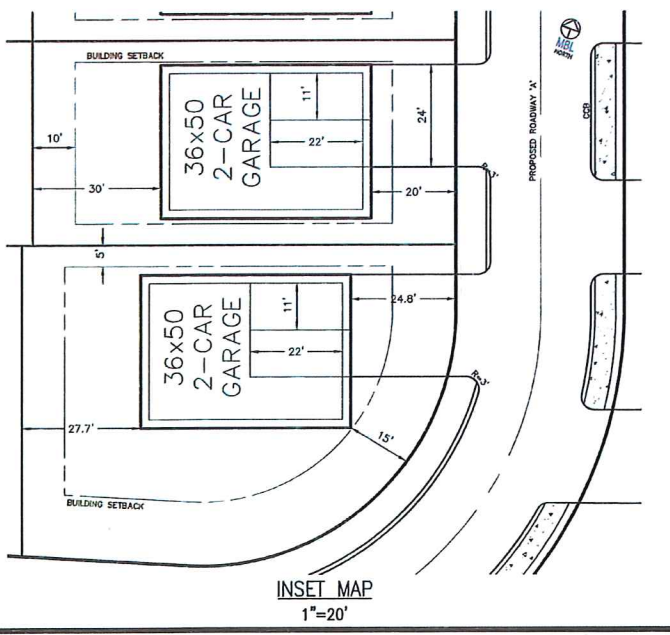
LEGEND

- =15' BUFFER ZONE
- =25' BUFFER ZONE
- =50' BUFFER ZONE
- =INSET MAP AREA

ASSESSORS MAP C7-3 PLOT 15
 TOTAL AREA = 29.37±ACRES
 TOTAL UPLAND AREA = 19.88±ACRES
 TOTAL WETLANDS = 9.51± ACRES



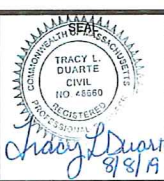
LOT AREAS							
NO.	AREA(SF)	NO.	AREA(SF)	NO.	AREA(SF)	NO.	AREA(SF)
1	8,940	21	4,194	41	5,603	61	4,979
2	7,770	22	10,514	42	5,646	62	6,029
3	6,415	23	12,940	43	4,797	63	7,661
4	11,106	24	6,931	44	4,797	64	7,973
5	12,041	25	6,198	45	4,798	65	8,513
6	5,534	26	6,032	46	4,797	66	6,493
7	9,979	27	6,950	47	4,800	67	4,948
8	8,879	28	8,651	48	6,913	68	4,609
9	5,012	29	93,467	49	6,920	69	4,598
10	5,012	30	12,698	50	4,838	70	5,688
11	5,012	31	7,901	51	5,130	71	9,135
12	5,012	32	8,037	52	7,209	72	8,915
13	5,014	33	9,482	53	4,127	73	7,437
14	4,611	34	7,722	54	3,490	74	6,653
15	4,611	35	5,900	55	5,883	75	5,871
16	8,244	36	5,444	56	3,949	76	5,078
17	17,640	37	5,419	57	4,443	77	4,641
18	50,367	38	5,427	58	5,507	78	4,605
19	9,671	39	5,449	59	6,645	79	4,605
20	25,292	40	5,422	60	4,397	80	4,605



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No.	DATE	DESCRIPTION	BY

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STONEBRIDGE HOMES, INC.
 32 NORFOLK AVENUE
 SOUTH EASTON MASSACHUSETTS

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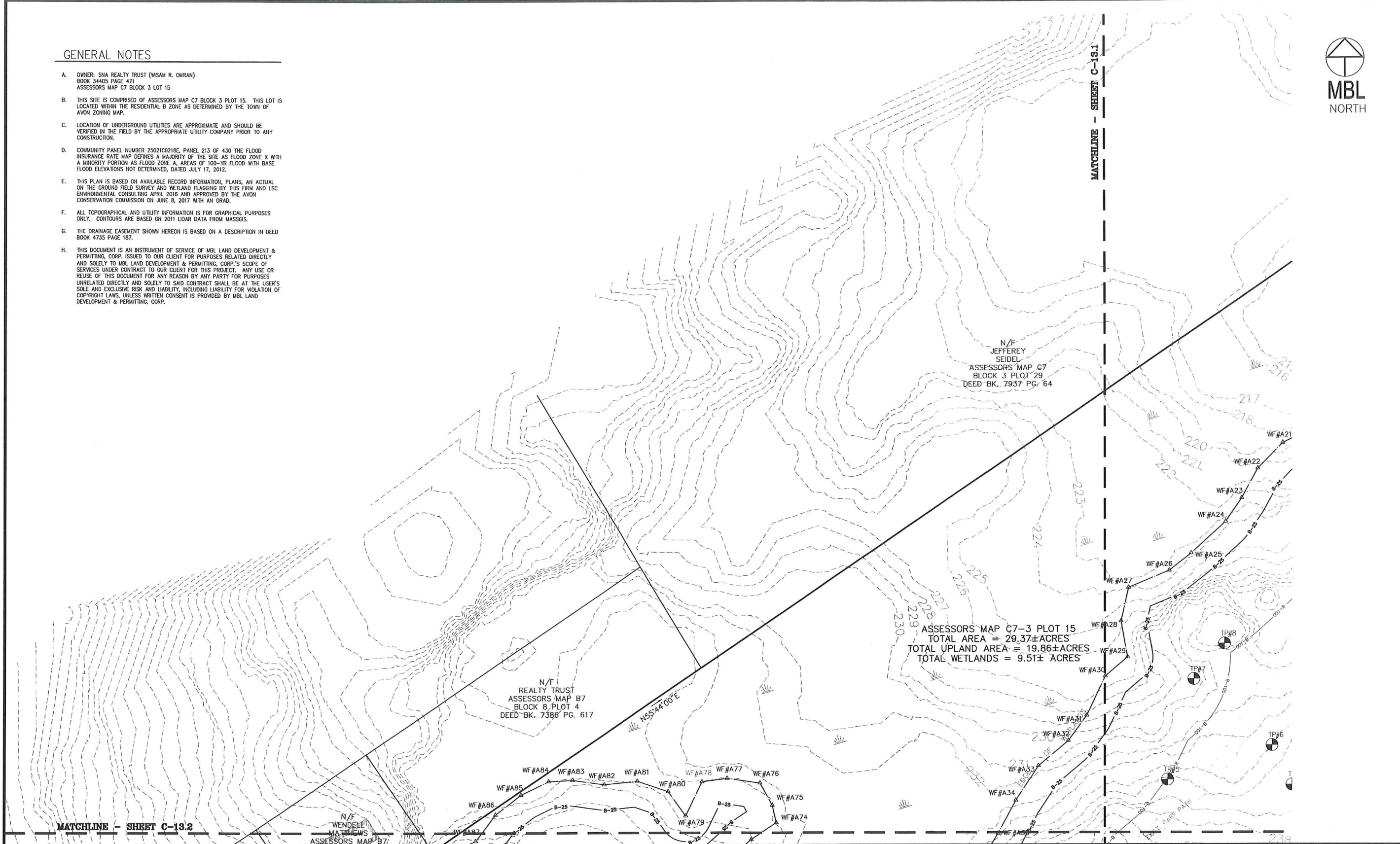
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SITE PLANS
SITE LOTTING PLAN
 CHAPTER 40B - JOANNA HILLS ESTATES
 ASSESSORS MAP C7, BLOCK 3 & PLOT 15
 AVON MASSACHUSETTS

PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
C-12.0

GENERAL NOTES

- A. OWNER: SNA REALTY TRUST (MSAM R. OMRAN)
BOOK 34405 PAGE 471
ASSESSORS MAP C7 BLOCK 3 LOT 15
- B. THIS SITE IS COMPRISED OF ASSESSORS MAP C7 BLOCK 3 PLOT 15. THIS LOT IS LOCATED WITHIN THE RESIDENTIAL B ZONE AS DETERMINED BY THE TOWN OF AVON ZONING MAP.
- C. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
- D. COMMUNITY PANEL NUMBER 25021C0218E, PANEL 213 OF 430 THE FLOOD INSURANCE RATE MAP DEFINES A MAJORITY OF THE SITE AS FLOOD ZONE X WITH A MINORITY PORTION AS FLOOD ZONE A. AREAS OF 100-YR FLOOD WITH BASE FLOOD ELEVATIONS NOT DETERMINED, DATED JULY 17, 2012.
- E. THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION, PLANS, AN ACTUAL ON THE GROUND FIELD SURVEY AND WETLAND FLAGGING BY THIS FIRM AND LSC ENVIRONMENTAL CONSULTING APRIL 2016 AND APPROVED BY THE AVON CONSERVATION COMMISSION ON JUNE 8, 2017 WITH AN GRAD.
- F. ALL TOPOGRAPHICAL AND UTILITY INFORMATION IS FOR GRAPHICAL PURPOSES ONLY. CONTOURS ARE BASED ON 2011 LIDAR DATA FROM MASSGIS.
- G. THE DRAINAGE EASEMENT SHOWN HEREON IS BASED ON A DESCRIPTION IN DEED BOOK 4735 PAGE 187.
- H. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF MBL LAND DEVELOPMENT & PERMITTING, CORP. ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO MBL LAND DEVELOPMENT & PERMITTING, CORP.'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY MBL LAND DEVELOPMENT & PERMITTING, CORP.

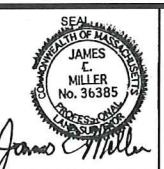


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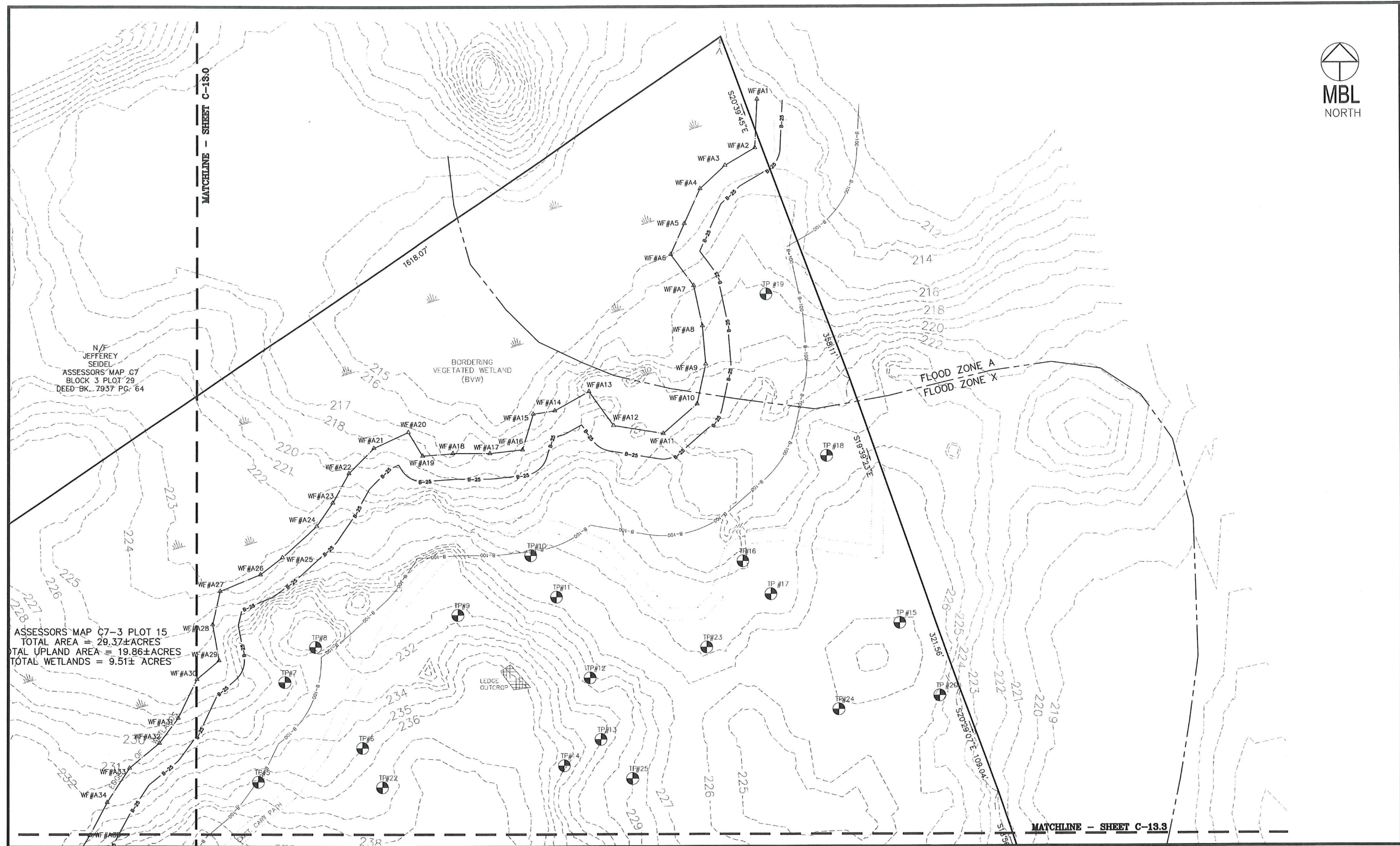
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 AVON MASSACHUSETTS

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N/F
JEFFEREY
SEIDEL
ASSESSORS' MAP C7
BLOCK 3 PLOT 29
DEED BK. 7937 PG. 64

ASSESSORS MAP C7-3 PLOT 15
TOTAL AREA = 29.37±ACRES
TOTAL UPLAND AREA = 19.86±ACRES
TOTAL WETLANDS = 9.51± ACRES

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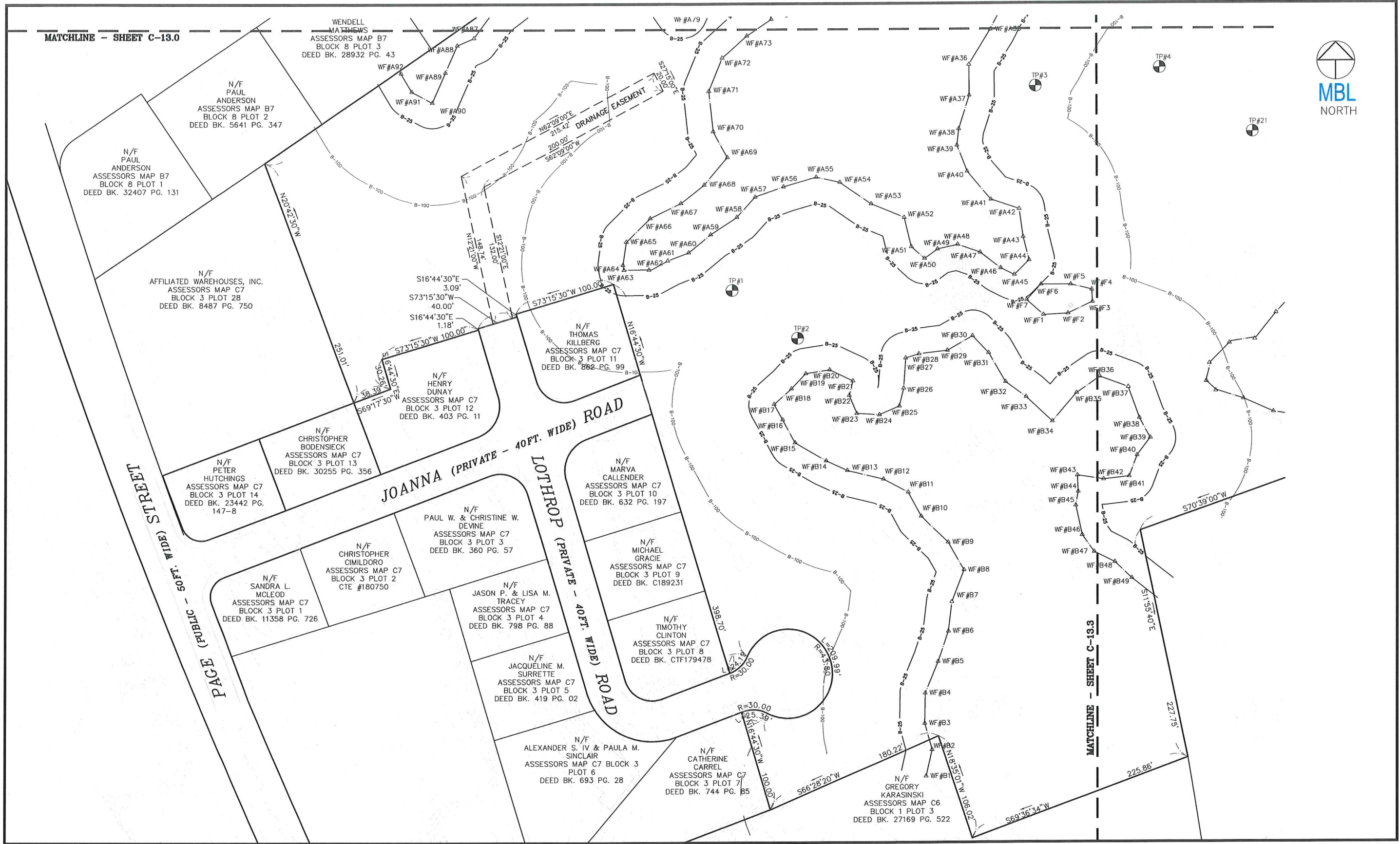
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PROJ. No.: 2016-002
 DATE: AUGUST 8, 2019
C-13.1



MATCHLINE - SHEET C-13.0



PAGE STREET (PUBLIC) - 50 FT. WIDE

JOANNA (PRIVATE - 40 FT. WIDE) ROAD

LOTHROP (PRIVATE - 40 FT. WIDE) ROAD

MATCHLINE - SHEET C-13.3

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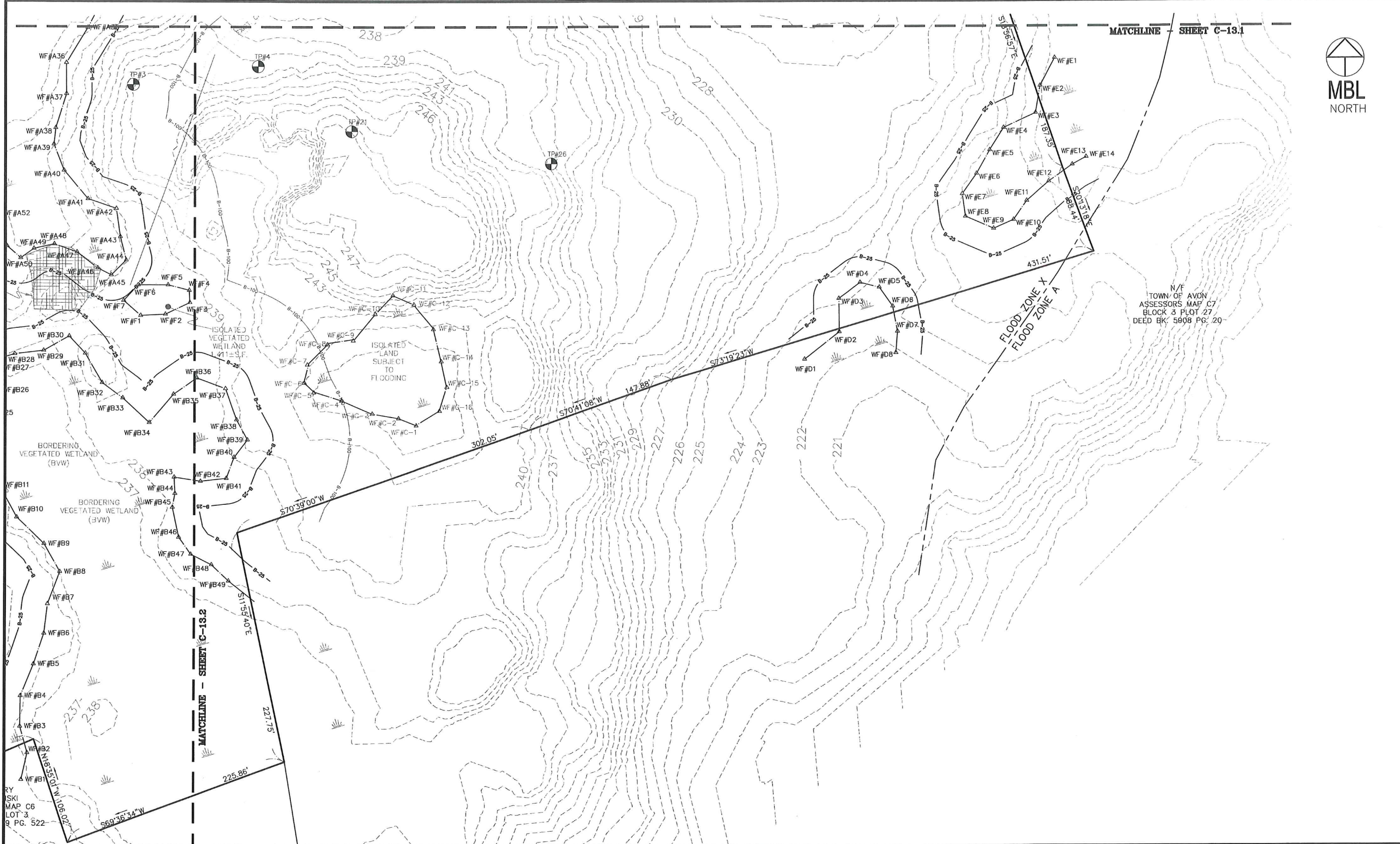
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MATCHLINE SHEET C-13.1

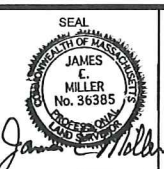
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N/F TOWN OF AVON ASSESSORS MAP C7 BLOCK 3 PLOT 27 DEED BK: 5908 PG: 20

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 DATE: AUGUST 8, 2019
C-13.3